

CITY OF MOORE SIGN SHOP & STREETS BREAKROOM RENOVATION

SIGH SHOP - 632 VERMEER DRIVE, MOORE, OKLAHOMA 73160
STREETS BREAKROOM - 2009 N. MOORE AVE., MOORE, OKLAHOMA 73160

415 Broadway

Oklahoma City

Oklahoma 73102



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www.taparchitecture.com

ARCHITECT'S
SEAL



PROJECT

CITY OF MOORE
SIGN SHOP/BREAKROOM
632 VERMEER DRIVE
2009 N. MOORE AVE.



DRAWINGS
FOR

FOR CONSTRUCTION

PRELIMINARY - NOT
FOR CONSTRUCTION

REVIEW SET

BID SET

ISSUE
DATE

01-15-2026

SHEET

COVER

PROJECT
NUMBER

2516

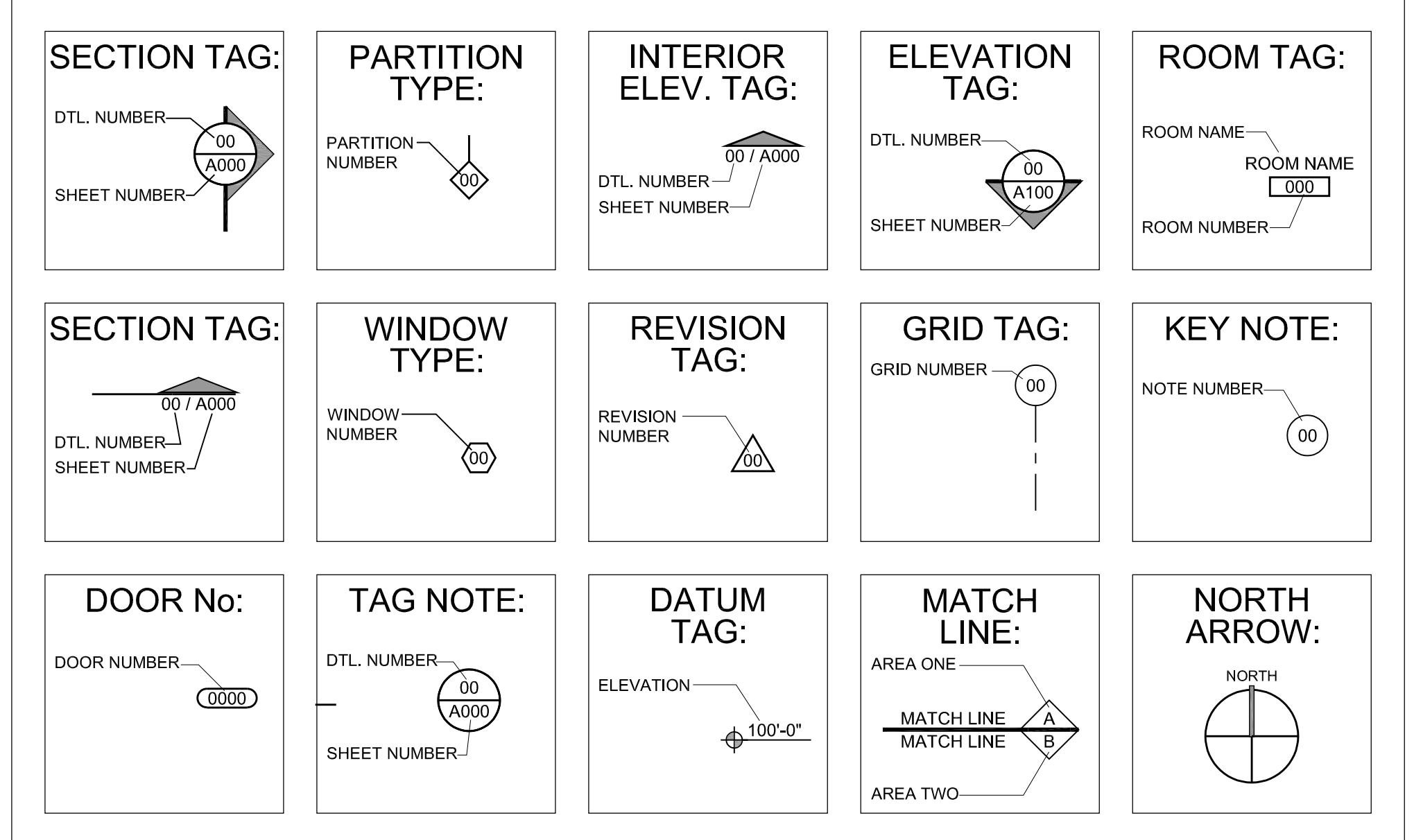
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CONSULTANT INFORMATION	CLIENT	ARCHITECT
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	STRUCTURAL ENGINEER	MECHANICAL ENGINEER
	N/A	N/A
	ELECTRICAL ENGINEER	CIVIL ENGINEER
	N/A	N/A
	LANDSCAPE ARCHITECT	OTHER
	N/A	N/A
NOTES		
N/A - All questions during pricing and construction shall be directed to the architect who will direct the question to the appropriate design consultant.		

ABBREVIATIONS

C.	CENTER LINE	F.A.	FIRE ALARM	PED.	PEDESTAL
P.	PLATE	FAST.	FASTEN, FASTENER	PERF.	PERFORATE, PERFORATED
A/C	AIR CONDITIONING	F.B.	FACE BRICK	P.L.	PROPERTY LINE
ABV.	ABOVE	F.D.	FLOOR DRAIN	PLAM.	PLASTIC LAMINATE
ACOUST.	ACOUSTICAL	F.E.	FIRE EXTINGUISHER	PLYWD.	PLYWOOD
ACT.	ACOUSTICAL CEILING TILE	F.E.C.	FIRE EXTINGUISHER CABINET	P.S.F.	POUNDS PER SQUARE FOOT
A.D.	AREA DRAIN	F.F.	FINISHED FLOOR	P.S.I.	POUNDS PER SQUARE INCH
ADD.	ADDENDUM	F.F.L.	FINISHED FLOOR LINE	PT.	POINT
ADJ.	ADJACENT	FIN.	FINISH, FINISHED	PVC	POLYVINYL CHLORIDE
A.F.F.	ABOVE FINISHED FLOOR	FLEX.	FLEXIBLE		
ALT.	ALTERNATE	FLR.	FLOOR, FLOORING	Q.T.	QUARRY TILE
ALUM.	ALUMINUM	FLUR.	FLUORESCENT	R.	RISER
ARCH.	ARCHITECT, ARCHITECTURAL	FN.	FENCE	R.A.	RETURN AIR
AUTO.	AUTOMATIC	FND.	FOUNDATION	RAD.	RADIUS
BBD.	BULLETIN BOARD	F.O.B.	FACE OF BRICK	R.B.	RUBBER BASE
BD.	BOARD	F.O.C.	FACE OF CONCRETE	R.D.	ROOF DRAIN
BEL.	BELOW	F.O.F.	FACE OF FINISH	RE:	REFER TO
BET.	BETWEEN	F.O.M.	FACE OF MASONRY	REFLECT.	REFLECTOR
BIT.	BITUMINOUS	F.O.S.	FACE OF STUDS	REFR.	REFRIGERATOR
BLDG.	BUILDING	F.O.V.	FACE OF VENEER	REV.	REVISION, REVISIONS, REVISED
BLK.	BLOCK	FT.	FOOT, FEET	RM	ROOM
BLKG.	BLOCKING	FTG.	FOOTING	R.O.	ROUGH OPENING
B.M.	BENCH MARK	FUR.	FURRED, FURRING	R.O.W.	RIGHT OF WAY
BRNG.	BEARING	FUT.	FUTURE	S.	SOUTH
B.S.	BOTH SIDES	GA.	GAGE, GAUGE	S.C.	SOLID CORE
BSMT.	BASEMENT	GALV.	GALVANIZED	SCHED.	SCHEDULE
BTM.	BOTTOM	G.C.	GENERAL CONTRACTOR	S.D.	STORM DRAIN
B.U.R.	BUILT UP ROOFING	GL.	GLASS, GLAZING	SECT.	SECTION
B.W.	BOTH WAYS	GYP. BD.	GYPSUM BOARD	SH.	SHIRT
CAB.	CABINET	HARDBD.	HARDBOARD	SIM.	SIMILAR
CEM.	CEMENT	H.B.	HOSE BIBB	S.J.	SAW JOINT
CF.	CUBIC FEET	H.C.	HOLLOW CORE	S.P.	SOUND PROOF
C.G.	CORNER GUARD	H.D.	HEAVY DUTY	SPEC.	SPECIFICATION, SPECIFICATIONS
CH. BD.	CHALK BOARD	HDW.	HARDWARE	SPK.	SPEAKER
C.I.	CAST IRON	H.M.	HOLLOW METAL	SPL.	SPECIAL
CIR.	CIRCLE	HORIZ.	HORIZONTAL	SQ.	SQUARE
CIRC.	CIRCUMFERENCE	HT.	HEIGHT	STD.	STANDARD
C.J.	CONTROL JOINT	HTG.	HEATING	STL.	STEEL
CL.	CLOSET	HVAC	HEATING / VENTILATING /	STOR.	STORAGE
CLG.	CEILING		AIR CONDITIONING	STRUCT.	STRUCTURE, STURCTURAL
CLG. HT.	CEILING HEIGHT	H.W.H.	HOT WATER HEATER	SUSP.	SUSPENDED
CLR.	CLEAR, CLEARANCE				
CMU	CONCRETE MASONRY UNIT	I.D.	INSIDE DIAMETER	T&G	TONGUE AND GROOVE
C.O.	CLEAN OUT	INCL.	INCLUDE, INCLUDED, INCLUDING	T.	TREAD
COL.	COLUMN	INSUL.	INSULATE, INSULATED, INSULATION	T.B.	TOWEL BAR
COMP.	COMPOSITION	INT.	INTERIOR	TEL.	TELEPHONE
CONC.	CONCRETE			TKBD.	TACKBOARD
CONST.	CONSTRUCTION	JAN.	JANITOR, JANITORS	TKS.	TACKSTRIP
CONT.	CONTINUOUS, CONTINUE	J.B.	JOIST BEARING	T.O.M.	TOP OF MASONRY
CONTR.	CONTRACT, CONTRACTOR	JT.	JOINT	T.O.S.	TOP OF SLAB
CORR.	CORRUGATED	KIT.	KITCHEN	T.O.W.	TOP OF WALL
CPT.	CARPET, CARPETED	LAB.	LABORATORY	T.V.	TELEVISION
CS.	COUNTERSINK	LAD.	LADDER	TYP.	TYPICAL
C.T.	CERAMIC TILE	LAM.	LAMINATE, LAMINATED	VIN.	VINYL
CTR.	COUNTER	LAV.	LAVATORY	V.J.	V-JOINT, V-JOINED
CY.	CUBIC YARD	L.H.	LEFT HAND		
D.	DRAIN	LL.	LIVE LOAD	W.	WITH
DEMO	DEMOLISH, DEMOLITION	LT.	LIGHT	WO.	WITHOUT
D.F.	DRINKING FOUNTAIN	LW.	LIGHTWEIGHT	W.	WEST
D.H.	DOUBLE HUNG	LWC.	LIGHTWEIGHT CONCRETE	W.C.	WIDTH, WIDE
DIA.	DIAMETER	MAS.	MASONRY	WD.	WOOD
DIAG.	DIAGONAL	MAX.	MAXIMUM	WIN.	WINDOW
DIM.	DIMENSION	MDF.	MEDIUM DENSITY FIBERBOARD		
DIV.	DIVISION	MECH.	MECHANICAL		
D.L.	DEAD LOAD	M.H.	MANHOLE		
DR.	DOOR	MIN.	MINIMUM		
D.S.	DOWNSPOUT	MISC.	MISCELLANEOUS		
DTL.	DETAIL	M.O.	MASONRY OPENING		
D.W.	DISHWAHER	MOD.	MODULAR		
DWG.	DRAWING	MT.	MOUNT, MOUNTED, MOUNTING		
DWR.	DRAWER	MTL.	METAL		
E.	EAST	MULL.	MULLION		
EA.	EACH				
E.F.	EACH FACE				
E.J.	EXPANSION JOINT				
EL.	ELEVATION				
ELEC.	ELECTRIC, ELECTRICAL	N.	NORTH		
ELEV.	ELEVATOR	NAT.	NATURAL		
EMERG.	EMERGENCY	NIC.	NOT IN CONTRACT		
ENCL.	ENCLOSE, ENCLOSURE	NOM.	NOMINAL		
E.P.	ELECTRICAL PANELBOARD	N.R.	NOISE REDUCTION		
EQ.	EQUAL	N.R.C.	NOISE REDUCTION COEFFICIENT		
EQUIP.	EQUIPMENT	N.T.S.	NOT TO SCALE		
EST.	ESTIMATE				
E.W.C.	ELECTRIC WATER COOLER	O.A.	OVERALL		
EXH.	EXHAUST	O.C.	ON CENTER		
EXIST.	EXISTING	O.D.	OUTSIDE DIAMETER		
EXP.	EXPOSED	O.H.	OVERHEAD		
EXT.	EXTERIOR	OPG.	OPENING		
		OPP.	OPPOSITE		
		OPH.	OPPOSITE HAND		
		OSB	ORIENTED STRAND BOARD		
		PED.	PEDESTAL		
		PERF.	PERFORATE, PERFORATED		

NOTE:
THE ABOVE ABBREVIATIONS ARE STANDARD, AND ARE NOT INTENDED TO BE A LISTING OF ANY OR ALL ABBREVIATIONS FOR THIS PROJECT.

DRAWING TAGS**SHEET INDEX****GENERAL**

SHEET INDEX, SYMBOLS,
G110 ABBREVIATIONS, MATERIAL LEGEND,
GENERAL NOTES
G111 PLUMBING & ELECTRICAL MOUNTING HEIGHTS
G210 CODE
G310 PARTITION TYPES

ARCHITECTURAL

AD210 SIGN SHOP - DEMOLITION FLOOR PLAN
AD211 STREETS BREAK ROOM - DEMOLITION FLOOR PLAN
AD230 SIGN SHOP - DEMOLITION CEILING PLAN
AD231 STREETS BREAK ROOM - DEMOLITION CEILING PLAN
A210 SIGN SHOP - DIMENSIONED FLOOR PLAN
A211 STREETS BREAK ROOM - DIMENSIONED FLOOR PLAN
A230 SIGN SHOP - REFLECTED CEILING PLAN
A231 STREETS BREAK ROOM - REFLECTED CEILING PLAN
A710 ROOM FINISH SCHEDULE
A750 INTERIOR ELEVATIONS & DETAILS

415 Broadway

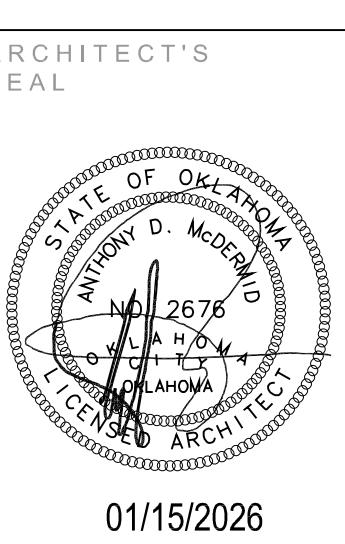
Oklahoma City

Oklahoma 73102



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PROJECT

CITY OF MOORE
632 VERMEER DRIVE
MOORE, OKLAHOMA 73130



ISSUES
REVISIONS
ISSUE FOR BIDDING
01/15/2026

SHEET
TITLE
SHEET
INDEX, SYMBOLS,
ABBREVIATIONS, MATERIAL
LEGEND, GENERAL NOTES

SHEET
NUMBER

G110
PROJECT
NUMBER

2516

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ARCHITECT'S
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01/15/2016

PROJECT

CITY OF MOORE
SIGN SHOP/BREAKROOM
632 VERMEER DRIVE
MOORE, OKLAHOMA 73160



ISSUES

REVISIONS

ISSUE FOR BIDDING

01/15/2016

SHEET
TITLE

PLUMBING &
ELECTRICAL MOUNTING
HEIGHTS

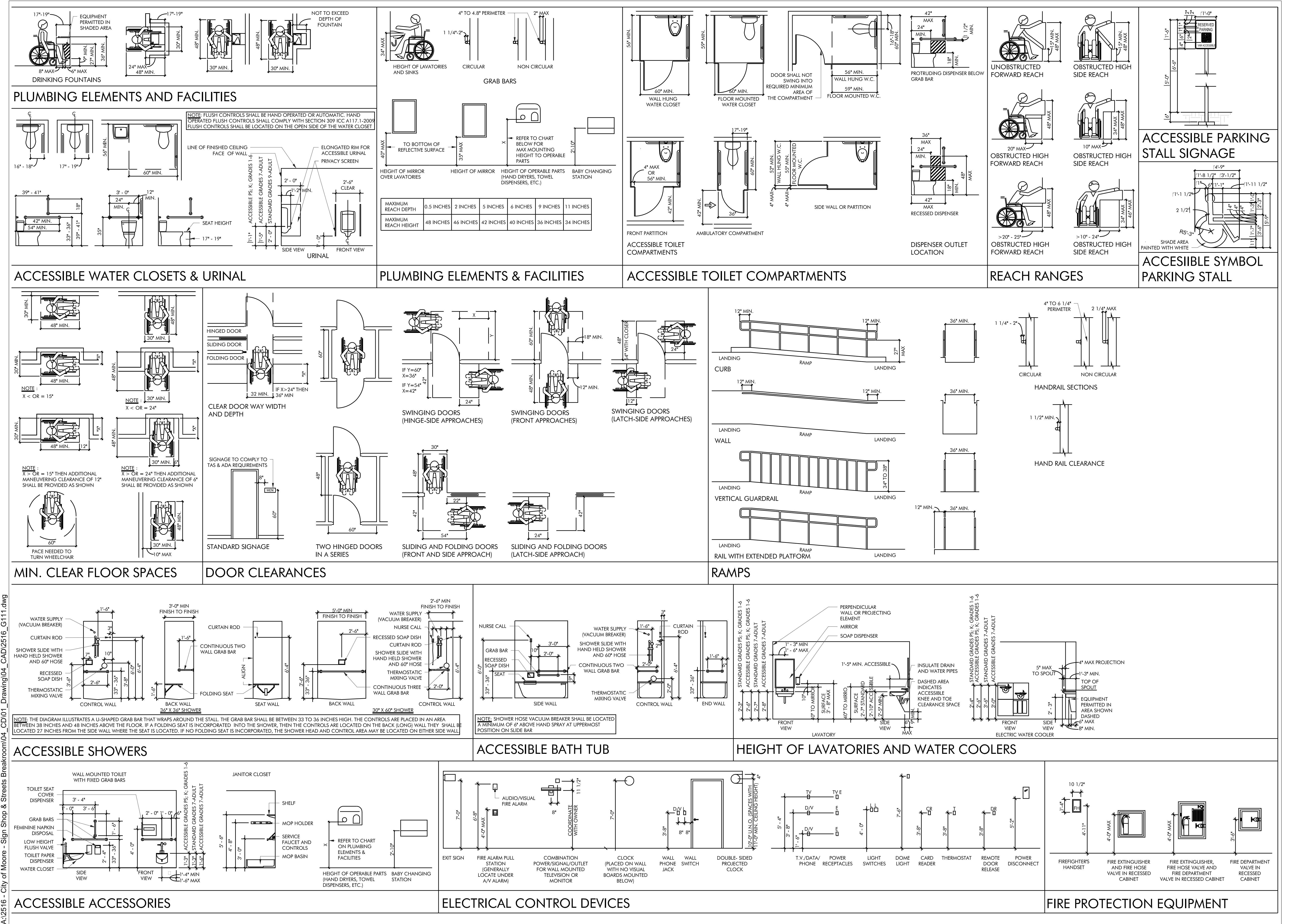
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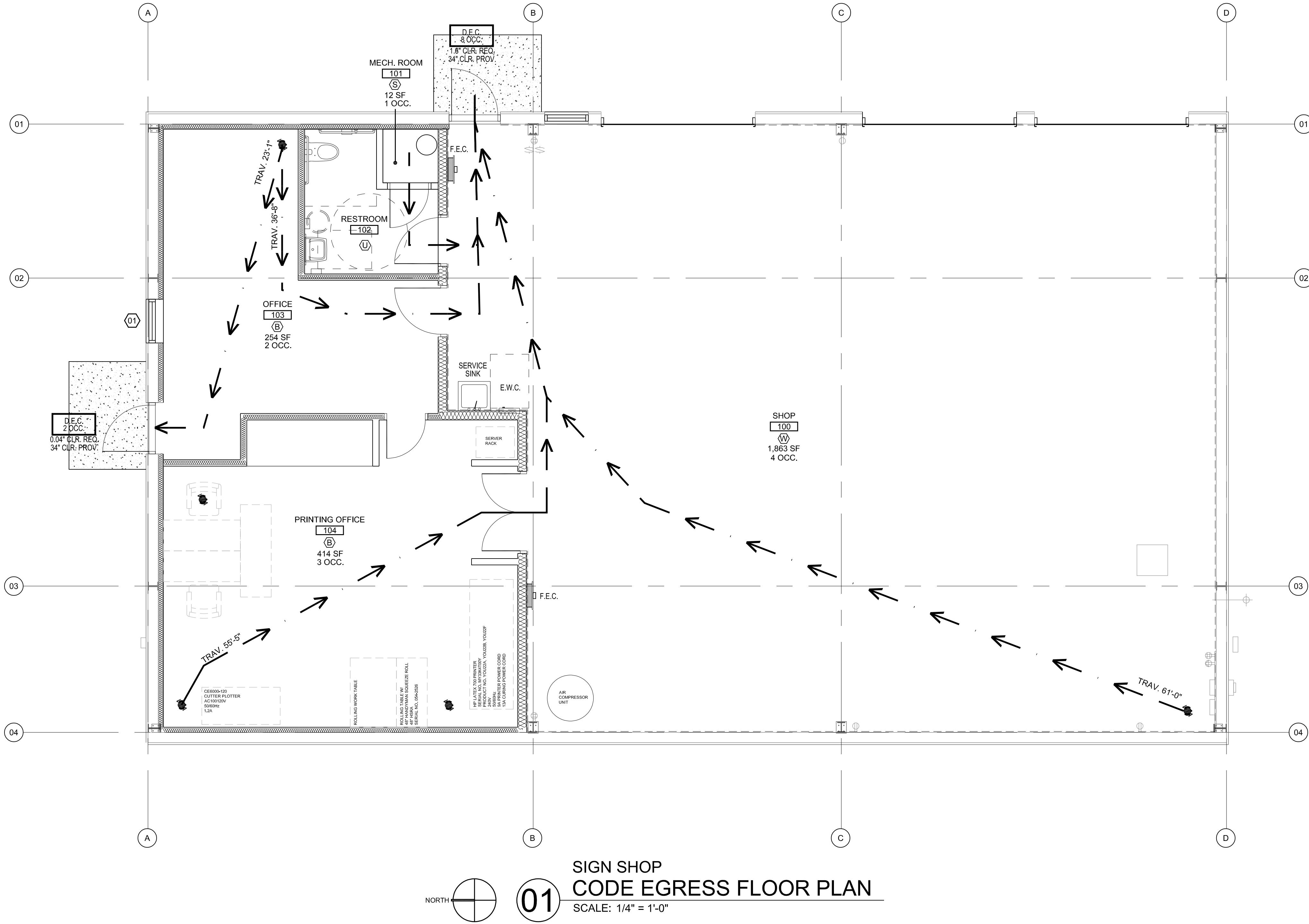
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APPLICABLE BUILDING CODES AND STANDARDS	
INTERNATIONAL BUILDING CODE - 2018	
INTERNATIONAL MECHANICAL CODE - 2018	
INTERNATIONAL FUEL GAS CODE - 2018	
INTERNATIONAL PLUMBING CODE - 2018	
NATIONAL ELECTRICAL CODE (NFPA 70) - 2020	

SIGN SHOP

INTERNATIONAL BUILDING CODE - 2018		CODE SECTION
OCCUPANCY:	F-1	FACTORY INDUSTRIAL NOT A SPRINKLED BUILDING
	10	OCCUPANT LOAD
CONSTRUCTION TYPE:	IIB	1004.5
ALLOWABLE AREA:	15,500 S.F.	506.2
ALLOWABLE BUILDING HEIGHTS:	2 STORIES	504.4
FRONTAGE INCREASE:	-	NOT REQUIRED
TOTAL BLDG. AREA S.F.	2,676 S.F.	

FIRE RESISTANCE RATING FOR BUILDING ELEMENTS:

STRUCTURAL FRAME:	0 HOUR	-	601
BEARING WALLS:	0 HOUR	-	601
NON-BEARING WALLS:	0 HOUR	-	601
FLOOR CONSTRUCTION:	0 HOUR	-	601
ROOF CONSTRUCTION:	0 HOUR	-	601
FIRE AND PARTY WALLS:	0 HOUR	-	706
EXIT CORRIDORS:	1 HOUR	SERVING MORE THAN 30 OCCUPANTS	1020.1

EGRESS WIDTH REQUIREMENTS

EGRESS WIDTH:	0.2	INCHES PER OCCUPANT SERVED	1005.3.2
CORRIDOR WIDTH:	36" MIN.	-	1020.2
DEAD END CORRIDORS:	20'-0"	-	1020.4
EXITS REQUIRED	2	1-500 OCCUPANTS	1006.3.2
TOTAL EXITS PROVIDED	2	TOTAL EXITS FOR ENTIRE BUILDING	

TRAVEL DISTANCE

MAX DISTANCE TO EXIT:	200'-0"	WITHOUT SPRINKLER SYSTEM	1017.2
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F-1:	-	50% FEMALE AND 50% MALE	
WATER CLOSETS MEN:	0 W.C. PROVIDED 0 URINAL PROVIDED	1 REQUIRED	2902.1
WATER CLOSETS WOMEN:	0 W.C. PROVIDED	1 REQUIRED	2902.1
WATER CLOSETS UNI-SEX:	1 W.C. PROVIDED	0 REQUIRED	
LAVATORIES:	0 MEN PROVIDED 0 WOMEN PROVIDED	1 REQUIRED MALE 1 REQUIRED FEMALE	2902.1
LAVATORIES UNI-SEX:	1 LAVS PROVIDED	0 REQUIRED	
DRINKING FOUNTAINS:	1 PROVIDED	1 REQUIRED	2902.1
SERVICE SINKS	1 PROVIDED	1 REQUIRED	2902.1

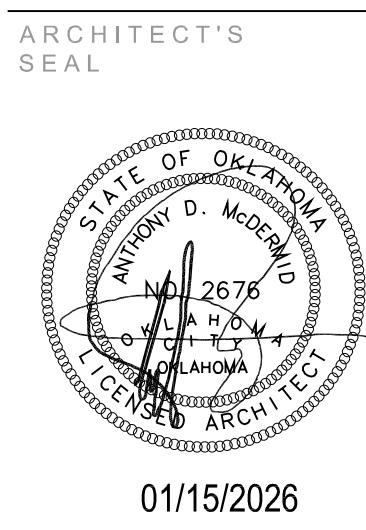
LEGEND

TRAV.	TRAVEL DISTANCE
OCC.	OCCUPANTS
— → —	DIRECTION OF PATH OF EGRESS
— 2-HR —	2 HOUR FIRE RATED CONSTRUCTION
XXX S.F.	ROOM SQUARE FOOTAGE
■ F.E.C.	FIRE EXTINGUISHER AND CABINET (FIRE EXTINGUISHER BY OWNER)
■ D.E.C. XXX OCC.	DOOR EGRESS CAPACITY
■ B	BUSINESS - ACCESSORY USE GROUP
■ S	STORAGE / MECH. ELECT. - ACCESSORY USE GROUP
■ U	UNCOUNTED AREA - ACCESSORY USE GROUP
■ K	KITCHEN - ACCESSORY USE GROUP
■ A	ASSEMBLY
■ W	WAREHOUSE AREA
■ L	LOCKER ROOM

415 Broadway
Oklahoma City
Oklahoma 73102

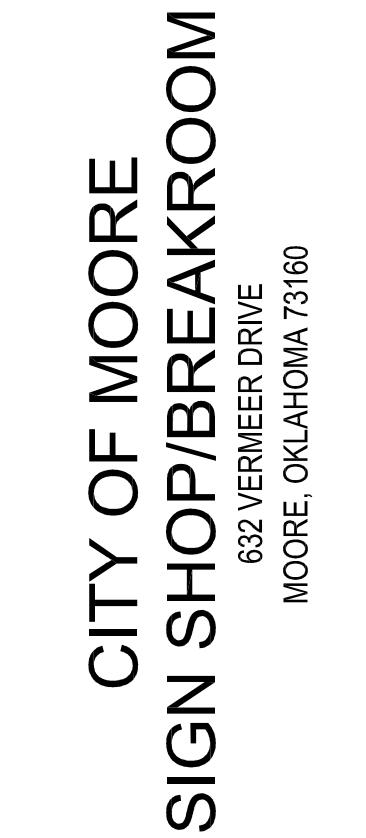


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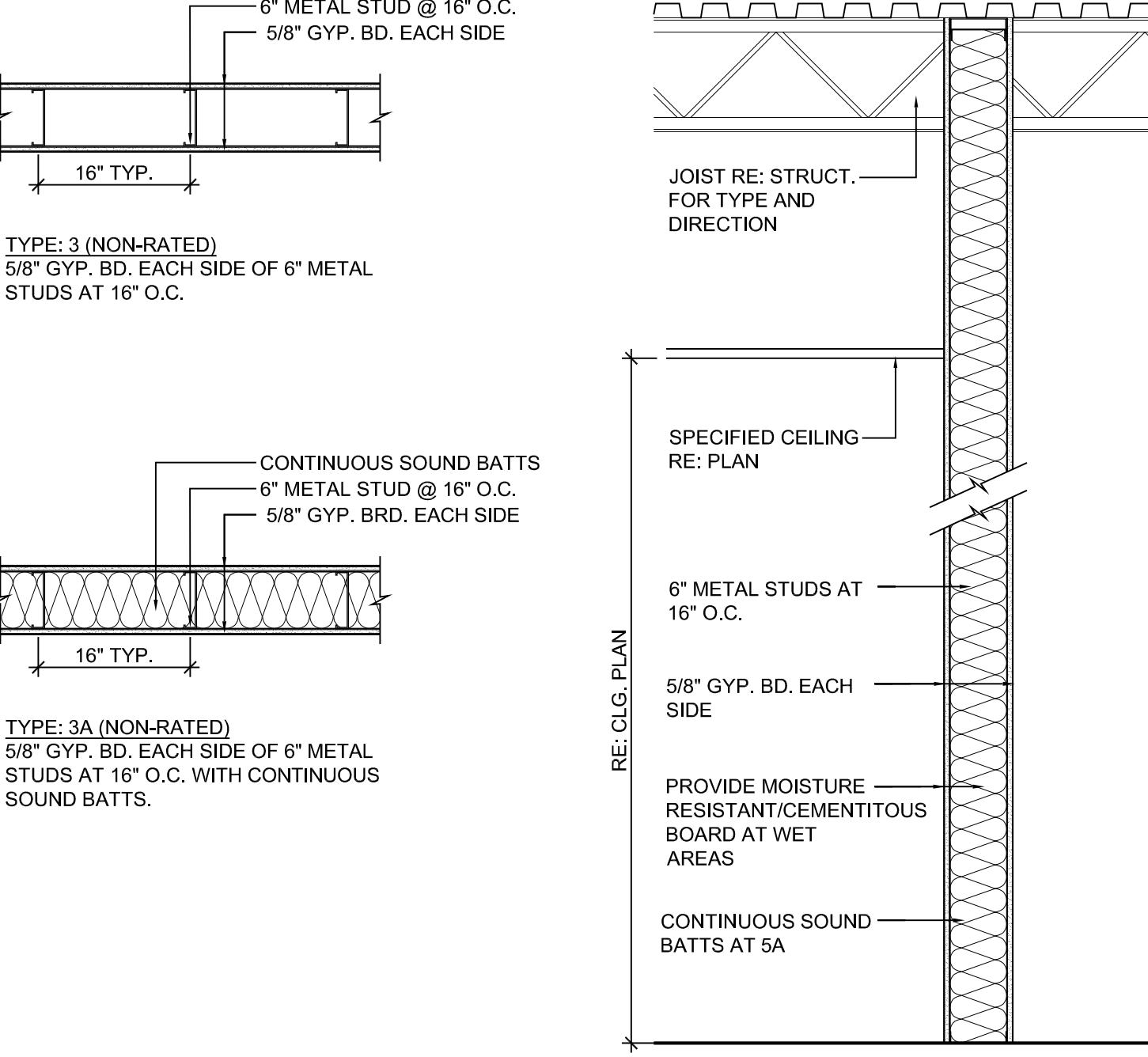
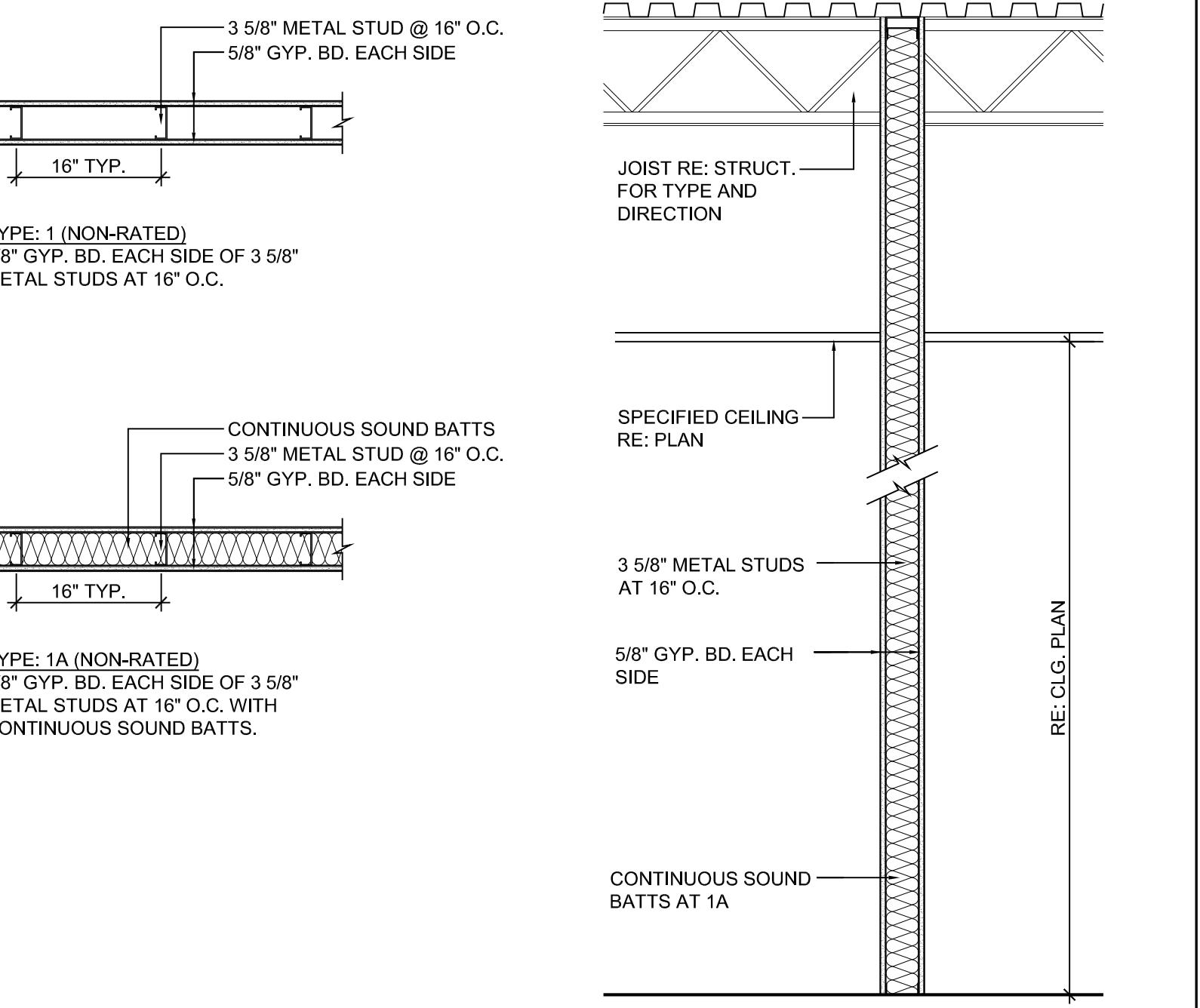
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SHEET
TITLE
SIGN SHOP
CODE EGREES
FLOOR PLAN

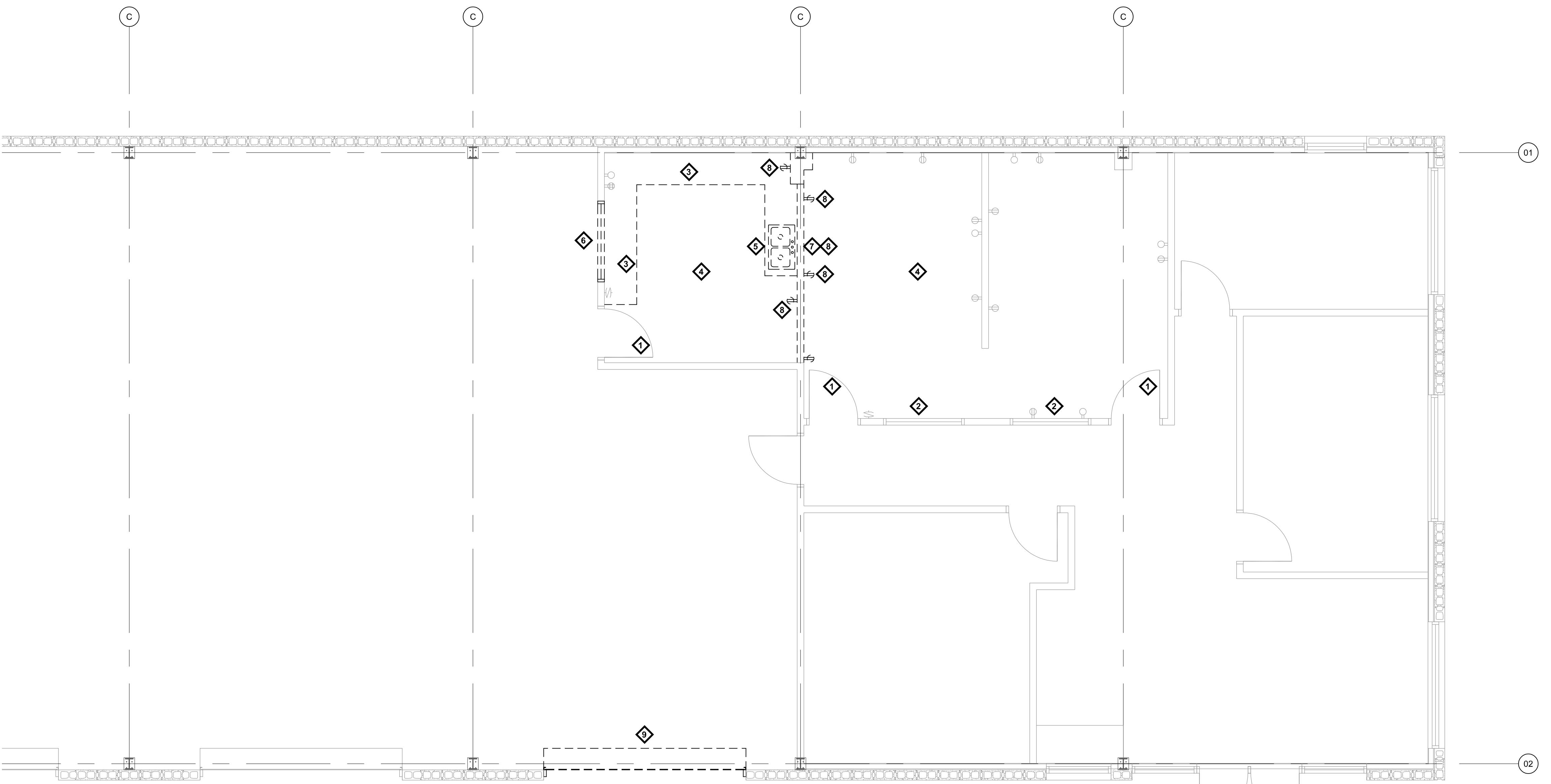
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NUMBER

G210
PROJECT
NUMBER
2516

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 <p>TYPE: 3 (NON-RATED) 5/8" GYP. BD. EACH SIDE OF 6" METAL STUDS AT 16" O.C.</p> <p>TYPE: 3A (NON-RATED) 5/8" GYP. BD. EACH SIDE OF 6" METAL STUDS AT 16" O.C. WITH CONTINUOUS SOUND BATTs.</p> <p>RE: CLG. PLAN</p>	 <p>TYPE: 1 (NON-RATED) 5/8" GYP. BD. EACH SIDE OF 3 5/8" METAL STUDS AT 16" O.C.</p> <p>TYPE: 1A (NON-RATED) 5/8" GYP. BD. EACH SIDE OF 3 5/8" METAL STUDS AT 16" O.C. WITH CONTINUOUS SOUND BATTs.</p> <p>RE: CLG. PLAN</p>	<p>GENERAL NOTES:</p> <ul style="list-style-type: none"> PROVIDE SPECIFIED MOISTURE RESISTANT GYPSUM BOARD/CEMENTITIOUS BOARD AT ALL WET-WALL AREAS. PROVIDE CONTINUOUS SOUND BATTs AT ALL REST ROOM PARTITIONS. BRACE ALL PARTITIONS (NOT DESIGNATED TO EXTEND TO DECK) TO STRUCTURE AT 48" O.C. MIN. PROVIDE SPECIFIED BATT INSULATION AT ALL EXTERIOR WALLS. INSULATION SHALL EXTEND FROM F.F. TO BTM. OF ROOF DECK. PROVIDE SPECIFIED GYPSUM BOARD CONTROL JOINTS EVERY 30'-0" OF CONTINUOUS WALL RUN MIN. PROVIDE SOLID BLOCKING PER SPECIFICATIONS FOR ALL WALL MOUNTED ACCESSORIES. REFER TO THE CURRENT EDITION OF THE UNDERWRITERS LABORATORIES INC. FIRE RESISTANCE DIRECTORY FOR ALL UL-NUMBERS REFERENCED ON PLANS. EXTEND GYPSUM BOARD 6" ABOVE FINISHED CEILING AT ALL PARTITIONS NOT DESIGNATED TO EXTEND TO DECK. ALL RATED WALLS TO COMPLY WITH APPROPRIATED UL NUMBER AND SHALL BE SEALED AT TOP, BOTTOM AS WELL AS AT ALL PENETRATIONS. DETAIL A: PROVIDE A 2 1/2" DEEP, 22 GAUGE STEEL, U-SHAPED DEFLECTION CHANNEL AT ALL WALLS DESIGNATED TO EXTEND TO DECK. DEFLECTION CHANNEL TO MAINTAIN A 1 1/2" GAP BETWEEN TOP OF CEILING RUNNER AND THE TOP OF THE DEFLECTION CHANNEL. CEILING RUNNER IS NOT FASTENED TO THE DEFLECTION CHANNEL. ALL RATED SYSTEMS SHALL COMPLY WITH THE LATEST UNDERWRITES LABORATORIES INC. (UL) FIRE RESISTANCE DIRECTORY. 	
<p>1A 1 NON-RATED PARTITION SCALE: 3/4" = 1'-0"</p>	<p>2A 2 NON-RATED PARTITION SCALE: 3/4" = 1'-0"</p>		





STREETS BREAKROOM
DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"

01
NORTH

LEGEND	
DEMOLITION PLANS	
	EXISTING PARTITIONS TO BE REMOVED
	EXISTING DOOR, FRAME & HARDWARE TO BE REMOVED
	EXISTING CEILING GRID TO BE REMOVED
	EXISTING PARTITION WALL TO REMAIN

DEMOLITION KEYNOTES: ◇

1. EXISTING DOOR & HARDWARE TO REMAIN
2. REMOVE EXISTING WINDOW TO REMAIN
3. REMOVE EXISTING MILLWORK
4. REMOVE EXISTING FLOORING, PREP SURFACE FOR INSTALLATION OF NEW FLOORING MATERIAL, RE: FINISH SCHEDULE
5. REMOVE EXISTING PLUMBING FIXTURES, PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING FIXTURES, TRIM, PIPING, VALVES, ETC...IN AREAS TO BE DEMOLISHED
6. REMOVE EXISTING WINDOW AND PREP FOR NEW HM WINDOW
7. ALL EXISTING PIPING ABOVE GRADE NOT REMAINING IN SERVICE AFTER NEW CONSTRUCTION SHALL BE REMOVED
8. ALL EXISTING SANITARY, DOMESTIC WATER, AND ELECTRICAL CONDUIT THAT ARE LOCATED IN EXISTING WALLS TO BE DEMOLISHED AND REMAINING IN SERVICE AFTER CONSTRUCTION SHALL BE LOCATED TO NEW WALLS OR SECURED TO THE EXISTING PEMB STRUCTURE AS NOTED
9. ADD ALTERNATE 02 - PROVIDE LUMP SUM COST FOR (1) ONE OVERHEAD COILING DOOR - REMOVE EXISTING OVERHEAD COILING DOOR AND INSTALL A NEW MANUAL INSULATED COILING DOOR, RE: SPECIFICATIONS

GENERAL DEMOLITION NOTES:

1. ALTERATIONS TO EXISTING WORK BEING OF SUCH NATURE THAT ALL FACETS OF THE WORK ARE IMPOSSIBLE TO DETAIL AND SPECIFY, IT IS THEREFORE THE GENERAL CONTRACTOR'S AND DEMOLITION CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE, CAREFULLY EXAMINE THE BUILDING AND GROUNDS, AND COMPLETELY FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND RELATE SUCH CONDITIONS TO THE SCOPE OF THE PROPOSED NEW WORK.
2. THE GENERAL CONTRACTOR (G.C.) IS RESPONSIBLE FOR REMOVAL OF ALL STRUCTURE, FOOTINGS, WALLS, FLOOR SLABS, FIXTURES, ELECTRICAL, PLUMBING, MECHANICAL, AND REFRIGERANT, WHETHER SHOWN OR NOT SHOWN ON THE DEMOLITION DRAWINGS IN THIS SET, AS REQUIRED TO PERFORM ALL NEW WORK INDICATED ON DRAWINGS UNLESS SPECIFICALLY INDICATED AS RESPONSIBILITY OF OWNER OR OWNER HIRED CONTRACTOR. THE G.C. SHOULD VISIT THE PROJECT SITE PRIOR TO BIDDING AND INSPECT EXISTING CONDITIONS, ONLY ITEMS FOUND BELOW BUILDING SLAB THAT ARE NOT DESCRIBED IN THESE DRAWINGS AND ARE IN CONFLICT WITH THE NEW WORK WILL BE CONSIDERED FOR ADDITIONAL COMPENSATION.
3. ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL BE ACCEPTABLE TO LOCAL AUTHORITIES. IT IS RECOMMENDED THAT THE GENERAL CONTRACTOR ARRANGE A PRE-CONSTRUCTION CONFERENCE FOR REVIEW AND CLARIFICATION PRIOR TO STARTING ANY WORK.
4. DEMOLITION OF EXISTING WORK SHALL BE DONE IN SUCH A MANNER THAT WILL NOT INTERFERE WITH NORMAL OPERATION OF THE AREA AND CARE SHALL BE TAKEN NOT TO DAMAGE EXISTING STRUCTURES, FIXTURES, ETC. CONTRACTOR SHALL REMOVE ALL CONSTRUCTION WASTE FROM THE SITE DAILY.
5. OWNER CONTRACTOR SHALL NOT BE HELD LIABLE FOR ANY ADDITIONAL DEMOLITION REQUIRED TO ACCOMMODATE NEW GENERAL CONTRACTOR TO INCLUDE ANY ADDITIONAL DEMOLITION NOT SHOWN ON DRAWINGS IN THEIR BID.
6. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO STARTING ANY DEMOLITION. REMOVE ALL EXISTING UTILITIES TO THEIR ENTRY POINT IN THE BUILDING.
7. ALL EQUIPMENT, REFRIGERATED CASES, ETC. BEING REMOVED OR RELOCATED, SHALL HAVE ALL THE UTILITIES DISCONNECTED BY THE SUB-CONTRACTORS.
8. ALL EXTERIOR OPENINGS, ROOMS, CHASES, AND ATTIC SHALL BE "RODENT PROOF". ALL WALL PENETRATIONS SHALL BE SEALED AIRTIGHT AND "RODENT PROOF".
9. GENERAL CONTRACTOR SHALL REPAIR EXISTING SURFACES DAMAGED BY REMOVAL OF EXISTING EQUIPMENT AND MATERIALS. PREP FOR INFILL OR REPAIR.
10. CONTRACTOR TO REPAIR, PATCH OR REPLACE EXISTING GYP, BD, OR PLASTER WALLS AND CEILINGS AS REQUIRED FOR BUILDING.
11. ANY DEMOD WINDOW SILLS TO BE REPLACED WITH SOLID SURFACE WINDOW SILL MATERIAL.
12. THE REMOVAL OF EXISTING PLUMBING FIXTURES AND DEMOLITION WORK OF EXISTING CONCRETE SLAB TO PROVIDE PLUMBING FOR NEW FIXTURES. IF EXISTING UTILITIES ARE EXPOSED, INCLUDE IN BASE BID REMOVAL OF AND REVISING EXISTING UTILITIES, AND LEADER PIPES THAT EXIST IN THE AREA OF CONSTRUCTION AND REQUIRE TO BE RELOCATED OR MODIFIED.
13. REMOVE AND SCARIFY EXISTING SOILS IN AREA OF CONSTRUCTION, STOCKPILE EXISTING TOP SOIL, AND REMOVE SOIL APPROVED BY ARCHITECT. REMOVE OTHER EXCAVATED SOILS AND RELOCATE ON SITE APPROVED BY ARCHITECT AND SPREAD SOIL EVENLY REVERSING EXISTING SURFACE PATTERNS. DO NOT REUSE EXISTING EXCAVATED SOILS UNDER THE BUILDING OR FLOOR UNLESS THEY MEET THE REQUIREMENTS FOR STRUCTURAL FILL. SOILS MAY BE REUSED FOR LANDSCAPE AREAS, BUT NOT BEDDING OR PIPES. REFER TO THE PROJECT SOILS REPORT FOR ADDITIONAL INFORMATION OF SOILS TO EXPECT. BID PROJECT ACCORDINGLY.
14. DO NOT REMOVE OR MOVE ANY FIRE PROTECTION SYSTEMS WITHOUT PRIOR APPROVAL FROM THE BUILDING OFFICIAL. ANY MODIFICATIONS MUST COMPLY WITH CURRENT BUILDING AND FIRE CODES, INTERNATIONAL CODE COUNCIL (ICC) AND NFPA. ALL MODIFICATIONS MUST BE DESIGNED AND INSTALLED BY QUALIFIED FIRE PROTECTION CONTRACTORS AND ENGINEERS IN ACCORDANCE WITH RELEVANT NFPA 13 STANDARDS FOR SPRINKLERS.
15. WHERE WALLS TO BE REMOVED, RELOCATE EXISTING THERMOSTAT TO NEW ADJACENT WALL LOCATION.
16. EXISTING DOOR CONTACTS, CARD READERS, AND OTHER ACCESS CONTROLS TO REMAIN. ALL ASSOCIATED CABLING SHALL REMAIN AND/OR BE RE-FED AS NECESSARY TO MAINTAIN CURRENT SYSTEM FUNCTIONALITY.
17. ALL DEVICES, CONDUIT, AND CIRCUIT LOCATED IN AREAS OF DEMOLITION SHALL BE REMOVED BACK TO THE NEAREST J-BOX OUTSIDE AREA OF RENOVATION, OR BACK TO ORIGINATING ELECTRIC PANEL. ANY EXISTING CIRCUITS REQUIRING PARTIAL DEMOLITION SHALL BE MODIFIED AND/OR EXTENDED AS REQUIRED TO ENSURE CONTINUED FUNCTIONALITY OF EXISTING DEVICES TO REMAIN.

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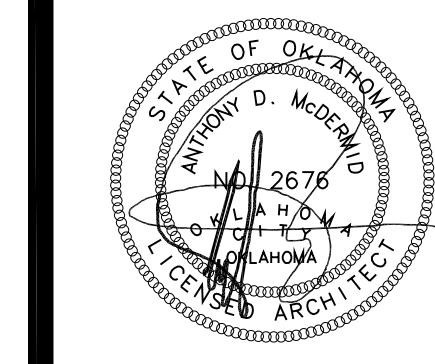
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SEAL



01/15/2026

PROJECT

CITY OF MOORE
SIGN SHOP/BREAKROOM
632 VERMEER DRIVE
MOORE, OKLAHOMA 73160



ISSUES
REVISIONS

ISSUE FOR BIDDING
01/15/2026

SHEET
TITLE

STREETS BR. ROOM
DEMOLITION
FLOOR PLAN

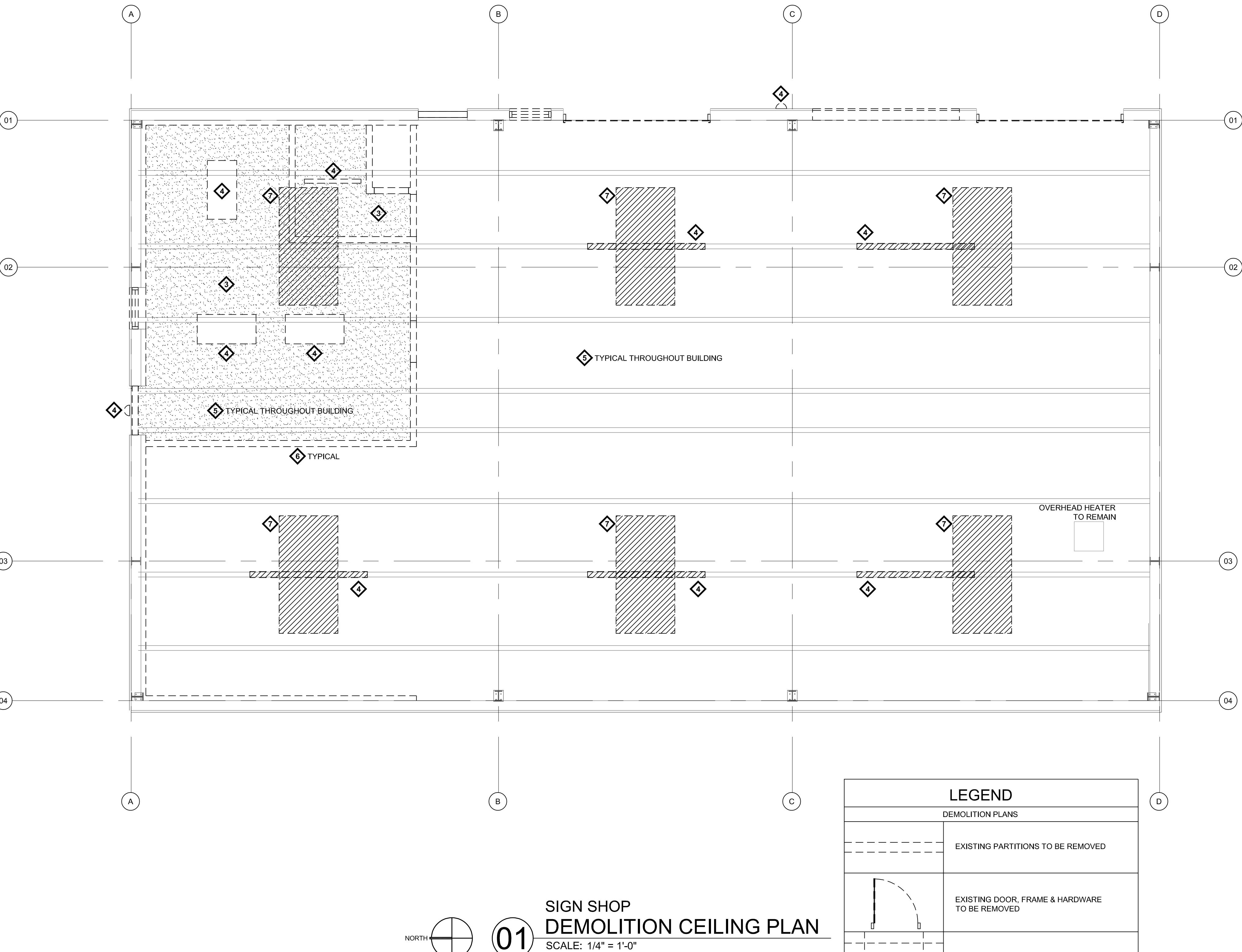
SHEET
NUMBER

AD211

PROJECT
NUMBER

2516

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DEMOLITION KEYNOTES:

1. REMOVE EXISTING CEILING TILE GRID SYSTEM, TILES, AND ALL CEILING MOUNTED EQUIPMENT
2. NO WORK AT CEILING THIS AREA, PROTECT FROM DAMAGE
3. REMOVE EXISTING GYP. BD. CEILING
4. REMOVE ALL EXISTING LIGHT FIXTURES
5. PULL OUT ALL UNUSED WIRING AND CONDUIT BACK TO SOURCE PANEL AND LABEL BREAKER AS SPARE. EXISTING RECEPTACLES, DATA DROPS, ELECTRICAL DEVICES AND ALL ASSOCIATED CIRCUITS TO REMAIN, RE: RELOCATED CEILING PLAN A230
6. REMOVE ALL EXISTING FRAMING (STUDS AND CEILING STRUCTURE) ON THE EXISTING BUILDING INTERIOR WALLS
7. REMOVE EXISTING SKYLIGHTS AND INSTALL NEW WHITE INSULATION AND NEW METAL ROOFING INTO EXISTING METAL ROOF. CONTRACTOR TO PROVIDE ROOF FLASHING AND SEALANTS TO PROPERLY SEAL THESE OPENINGS FOR NO ROOF LEAKAGE

GENERAL DEMOLITION NOTES:

1. ALTERATIONS TO EXISTING WORK BEING OF SUCH NATURE THAT ALL FACETS OF THE WORK ARE IMPOSSIBLE TO DETAIL AND SPECIFY. IT IS THEREFORE THE GENERAL CONTRACTOR'S AND DEMOLITION CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE, CAREFULLY EXAMINE THE BUILDING AND GROUNDS, AND COMPLETELY FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND RELATE SUCH CONDITIONS TO THE SCOPE OF THE PROPOSED NEW WORK.
2. THE GENERAL CONTRACTOR (G.C.) IS RESPONSIBLE FOR REMOVAL OF ALL STRUCTURE, FOOTINGS, WALLS, FLOOR SLABS, FIXTURES, ELECTRICAL, PLUMBING, MECHANICAL, AND REFRIGERANT, WHETHER SHOWN OR NOT SHOWN ON THE DEMOLITION DRAWINGS IN THIS SET, AS REQUIRED TO PERFORM ALL NEW WORK INDICATED ON DRAWINGS UNLESS SPECIFICALLY INDICATED AS RESPONSIBILITY OF OWNER OR OWNER HIRED CONTRACTOR. THE G.C. SHOULD VISIT THE PROJECT SITE PRIOR TO BIDDING AND INSPECT EXISTING CONDITIONS, ONLY ITEMS FOUND BELOW BUILDING SLAB THAT ARE NOT DESCRIBED IN THESE DRAWINGS AND ARE IN CONFLICT WITH THE NEW WORK WILL BE CONSIDERED FOR ADDITIONAL COMPENSATION.
3. ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL BE ACCEPTABLE TO LOCAL AUTHORITIES. IT IS RECOMMENDED THAT THE GENERAL CONTRACTOR ARRANGE A PRE-CONSTRUCTION CONFERENCE FOR REVIEW AND CLARIFICATION PRIOR TO STARTING ANY WORK.
4. DEMOLITION OF EXISTING WORK SHALL BE DONE IN SUCH A MANNER THAT WILL NOT INTERFERE WITH NORMAL OPERATION OF THE AREA AND CARE SHALL BE TAKEN NOT TO DAMAGE EXISTING STRUCTURES, FIXTURES, ETC. CONTRACTOR SHALL REMOVE ALL CONSTRUCTION WASTE FROM THE SITE DAILY.
5. GENERAL CONTRACTOR TO VISIT THE SITE PRIOR TO BID. VERIFY IF ANY ADDITIONAL DEMOLITION IS REQUIRED TO ACCOMMODATE NEW GENERAL CONTRACTOR TO INCLUDE ANY ADDITIONAL DEMOLITION NOT SHOWN ON DRAWINGS IN THEIR BID.
6. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO STARTING ANY DEMOLITION. REMOVE ALL EXISTING UTILITIES TO THEIR ENTRY POINT IN THE BUILDING.
7. ALL EQUIPMENT, REFRIGERATED CASES, ETC. BEING REMOVED OR RELOCATED, SHALL HAVE ALL THE UTILITIES DISCONNECTED BY THE SUB-CONTRACTORS.
8. ALL EXTERIOR OPENINGS, ROOMS, CHASE, AND ATTIC SHALL BE "RODENT PROOF". ALL WALL PENETRATIONS SHALL BE SEALED AIRTIGHT AND "RODENT PROOF".
9. GENERAL CONTRACTOR SHALL REPAIR EXISTING SURFACES DAMAGED BY REMOVAL OF EXISTING EQUIPMENT AND MATERIALS. PREP FOR INFILL OR REPAIR.
10. CONTRACTOR TO REPAIR, PATCH OR REPLACE EXISTING GYP. BD. OR PLASTER WALLS AND CEILINGS AS REQUIRED FOR BUILDING.
11. ANY DEMOD WINDOW SILLS TO BE REPLACED WITH SOLID SURFACE WINDOW SILL MATERIAL.
12. THE REMOVAL OF EXISTING PLUMBING FIXTURES AND DEMOLITION WORK OF EXISTING CONCRETE SLAB TO PROVIDE PLUMBING FOR NEW FIXTURES. IF EXISTING UTILITIES ARE EXPOSED, INCLUDE IN BASE BID REMOVAL OF AND REVISING EXISTING UTILITIES, AND LEADER PIPES THAT EXIST IN THE AREA OF CONSTRUCTION AND REQUIRE TO BE RELOCATED OR MODIFIED.
13. REMOVE AND SCARIFY EXISTING SOILS IN AREA OF CONSTRUCTION. STOCKPILE EXISTING TOP SOIL FOR REUSE AT LOCATION APPROVED BY ARCHITECT. REMOVE OTHER EXCAVATED SOILS AND RELOCATE ON SITE. LOCATION APPROVED BY ARCHITECT AND SPREAD OUT EVENLY RESPECTING EXISTING SURFACE PATTERNS. DO NOT REUSE EXISTING EXCAVATED SOILS UNDER THE BUILDING FOR FILL UNLESS THEY MEET THE REQUIREMENTS FOR STRUCTURAL FILL. SOILS MAY BE REUSED FOR LANDSCAPE AREAS, BUT NOT BEDDING OF PIPES. REFER TO THE PROJECT SOILS REPORT FOR ADDITIONAL INFORMATION OF SOILS TO EXPECT. BID PROJECT ACCORDINGLY.
14. DO NOT REMOVE OR MODIFY ANY FIRE PROTECTION SYSTEM WITHOUT PRIOR APPROVAL FROM THE BUILDING OFFICIAL. ANY MODIFICATIONS MUST COMPLY WITH CURRENT BUILDING AND FIRE CODES, INTERNATIONAL CODE COUNCIL (ICC), AND NFPA. ALL MODIFICATIONS MUST BE DESIGNED AND INSTALLED BY QUALIFIED FIRE PROTECTION CONTRACTORS AND ENGINEERS IN ACCORDANCE WITH RELEVANT NFPA 13 STANDARDS FOR SPRINKLERS.
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STATE OF OKLAHOMA
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01/15/2026

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632 VERMEER DRIVE
MOORE, OKLAHOMA 73160



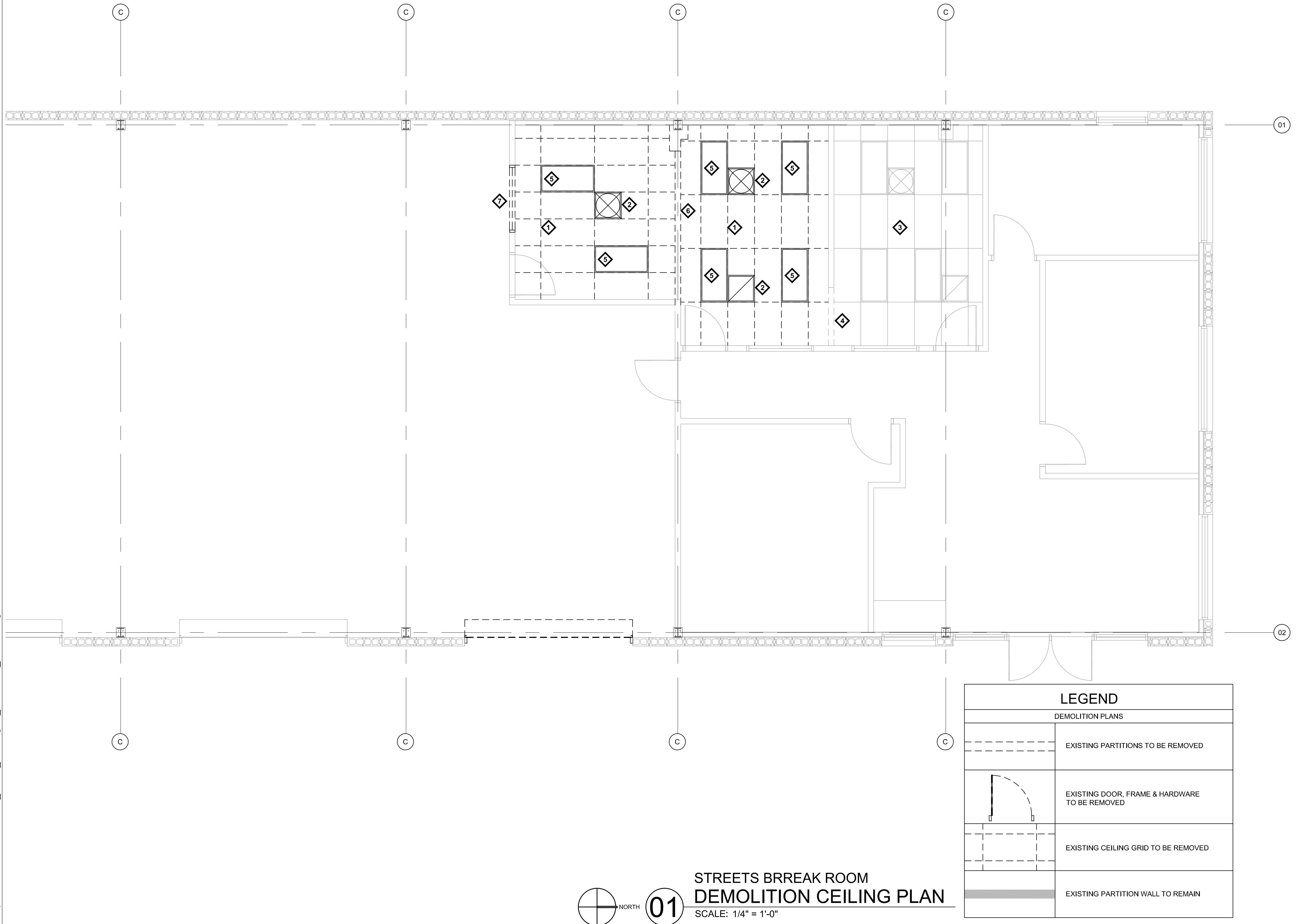
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01/15/2026

SHEET
TITLE
SIGN SHOP
DEMOLITION
CEILING PLAN

SHEET
NUMBER

AD230
PROJECT
NUMBER
2516

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DEMOLITION KEYNOTES:

1. REMOVE EXISTING CEILING TILE GRID SYSTEM, TILES, AND ALL CEILING MOUNTED EQUIPMENT
2. REMOVE SUPPLY & RETURN DIFFUSERS, REINSTALL PER NEW CEILING PLAN, RE: A231
3. NO WORK AT CEILING THIS AREA, PROTECT FROM DAMAGE
4. EXISTING HEADER TO REMAIN, CONTRACTOR TO INFILL WALL, RE: FLOOR PLAN A211
5. REMOVE & SAVE EXISTING 2X4 LIGHT FIXTURES, REINSTALL PER NEW CEILING PLAN, RE: A231
6. REMOVE EXISTING PARTITION WALL
7. EXISTING WINDOW TO BE REMOVED AND REPLACED, RE: NEW PLAN A211

GENERAL DEMOLITION NOTES:

1. ALTERATIONS TO EXISTING WORK BEING OF SUCH NATURE THAT ALL FACETS OF THE WORK ARE IMPOSSIBLE TO DETAIL AND SPECIFY. IT IS THEREFORE THE GENERAL CONTRACTOR AND DEMOLITION CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE, CAREFULLY EXAMINE THE BUILDING AND GROUNDS, AND COMPLETELY FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND RELATE SUCH CONDITIONS TO THE SCOPE OF THE PROPOSED NEW WORK.
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10. CONTRACTOR TO REPAIR, PATCH OR REPLACE EXISTING GYPSUM, BD, OR PLASTER WALLS AND CEILINGS AS REQUIRED FOR BUILDING.
11. ANY DEMOD WINDOW SILLS TO BE REPLACED WITH SOLID SURFACE WINDOW SILL MATERIAL.
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01/15/2026

SHEET
TITLE
STREETS BR. ROOM
DEMOLITION
CEILING PLAN

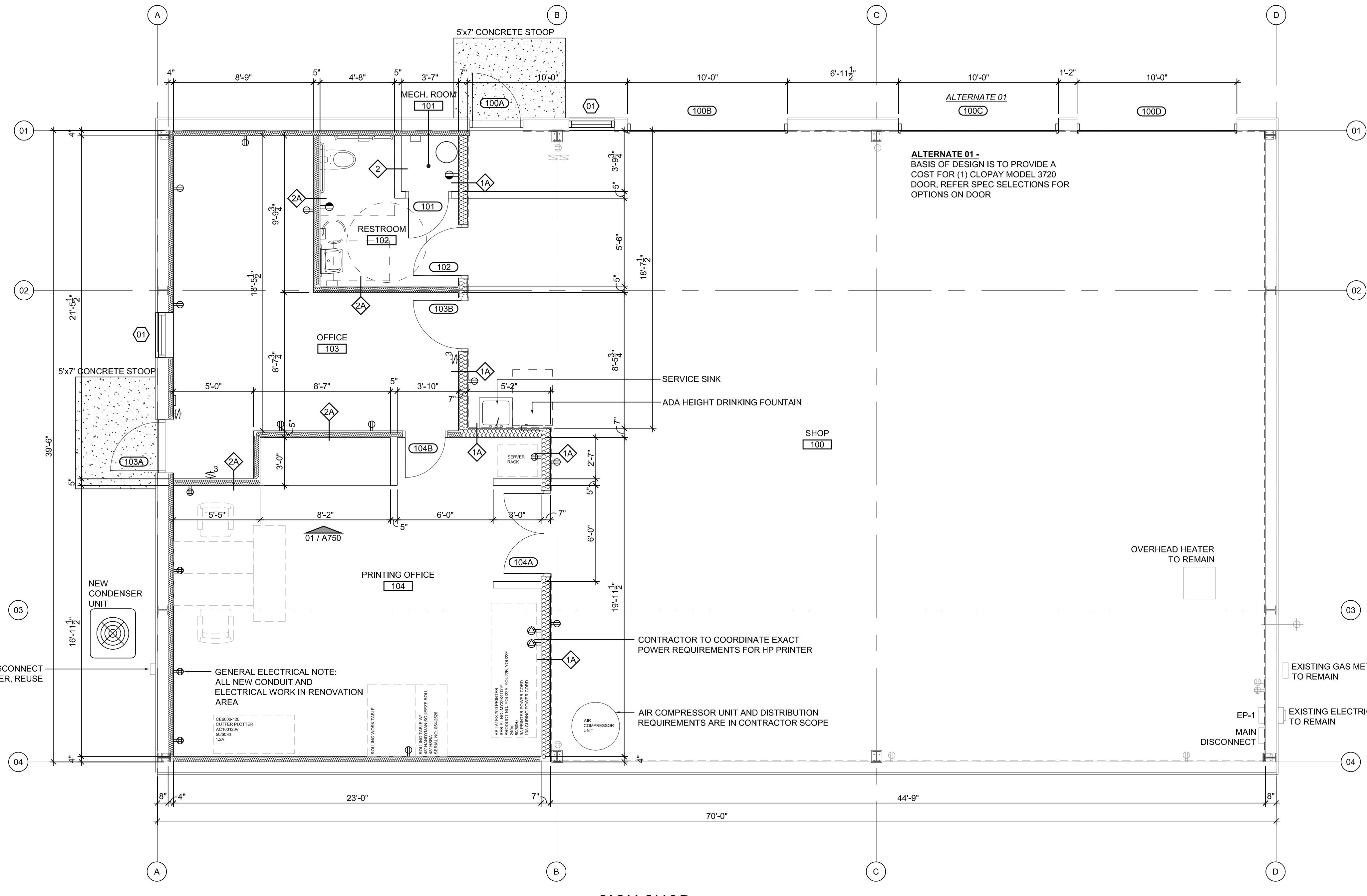
SHEET
NUMBER

AD231

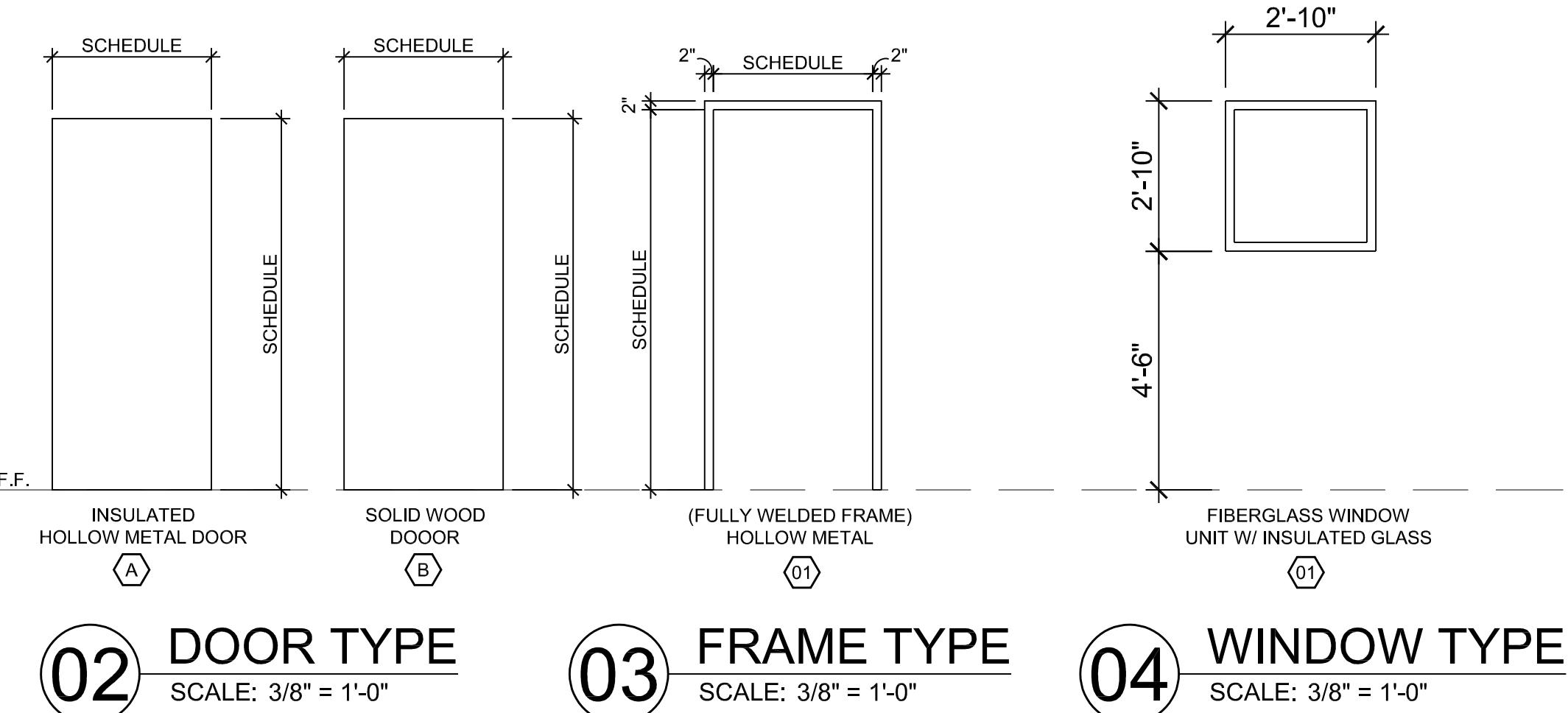
PROJECT
NUMBER

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01 SIGN SHOP
DIMENSIONED FLOOR PLAN
SCALE: 1/4" = 1'-0"



DOOR SCHEDULE

DR. NO.	ROOM NAME	DOOR SIZE	DOOR TYPE	FRAME TYPE	HARDWARE	DETAILS			REMARKS
						HEAD	JAMB	SILL	
100A	SHOP	3'-0" X 7'-0"	A	01	1.0				EXTERIOR GRADE LOCKSET AND DEADBOLT
100B	SHOP - OHD	10'-0" X 10'-0"	-	-	-				REPLACE OHD AND PROVIDE NEW OPENER
100C	<u>ALTERNATE 01 - SHOP OHD</u>	10'-0" X 10'-0"	-	-	-				ALTERNATE 01 - CUT NEW HOLE, PROVIDE NEW OHD
100D	SHOP OHD	10'-0" X 10'-0"	-	-	-				REPLACE OHD AND PROVIDE NEW OPENER
101	MECH. ROOM	2'-6" X 7'-0"	B	01	6.0				PASSAGE SET
102	RESTROOM	3'-0" X 7'-0"	B	01	7.0				RESTROOM LOCKSET, THRESHOLD & PERIMETER SEAL
103A	OFFICE	3'-0" X 7'-0"	B	01	2.0				EXTERIOR GRADE LOCKSET AND DEADBOLT
103B	OFFICE	3'-0" X 7'-0"	B	01	5.0				OFFICE LOCKSET, THRESHOLD & PERIMETER SEAL
104A	PRINTING OFFICE	3'-0" X 7'-0"	B	01	3.0				OFFICE LOCKSET, THRESHOLD & PERIMETER SEAL
104B	PRINTING OFFICE	3'-0" X 7'-0"	B	01	4.0				STOREROOM LOCKSET

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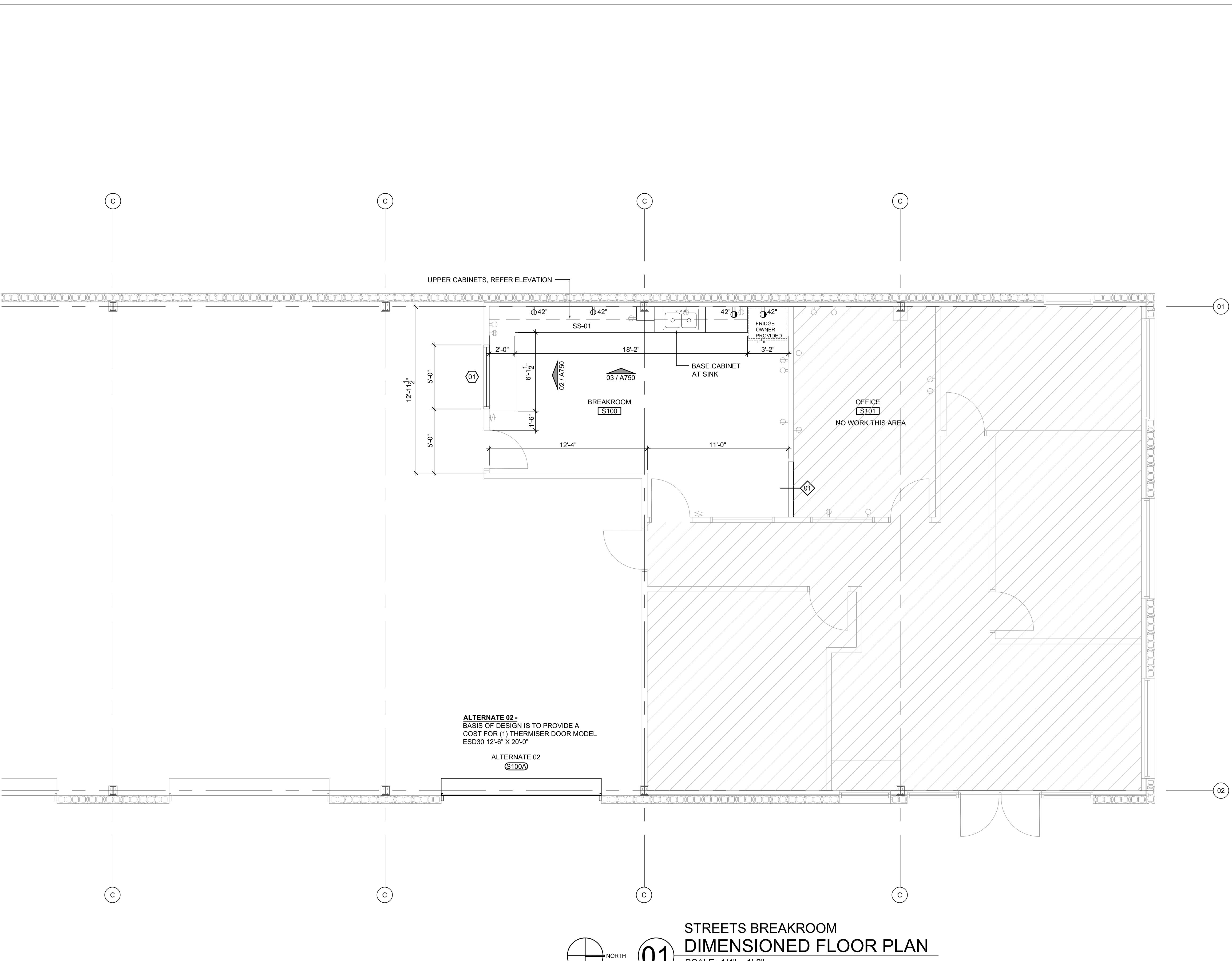
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SHEET
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SIGN SHOP
DIMENSIONED
FLOOR PLAN
SHEET
NUMBER

A210
PROJECT
NUMBER

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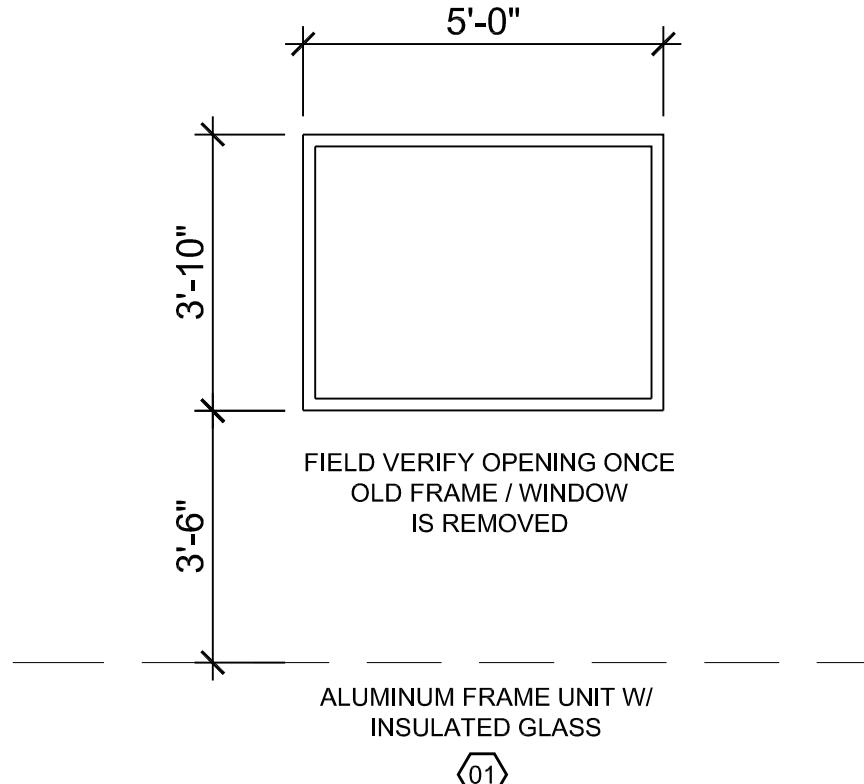
02 WINDOW TYPE
SCALE: 3/8" = 1'-0"

RECEPTACLES
- COUNTERTOP MOUNTED
(MIN. 4" ABOVE BACKSPLASH, COORDINATE WITH BACKSPLASH MATERIAL)

- DUPLEX FLOOR RECEPTACLE OUTLET
- DUPLEX RECEPTACLE OUTLET
- GFCI (GROUND FAULT CIRCUIT INTERRUPTER) OUTLET
- QUADRUPLEX OUTLET
- SPECIALTY AMP OUTLET

GENERAL NOTES:

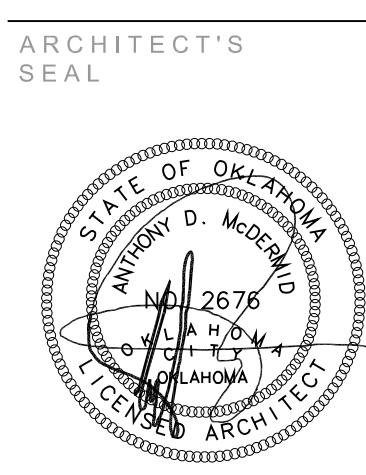
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2. THE CONTRACTOR SHALL VERIFY AND EVALUATE ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE PRIOR TO CONSTRUCTION.
3. IN ALL ROOMS HAVING FINISH, FURR AROUND ALL MECHANICAL, ELECTRICAL AND STRUCTURAL WORK WHICH PROJECTS BEYOND THE FACE OF THE WALL AND CEILING.
4. FLOOR PLAN DIMENSIONS ARE FROM FACE OF EXISTING GY. BD. TO FACE OF STUD OF NEW, UNLESS OTHERWISE NOTED. DIMENSIONS NOT SHOWN SHALL BE DETERMINED FROM EXISTING FIXED COMPONENTS (i.e. WINDOWS, COLUMNS, EXISTING WALLS TO REMAIN, ETC.)
5. CONTRACTOR TO REPAIR EXISTING BUILDING WHERE DAMAGED DUE TO NEW CONSTRUCTION.
6. CONTRACTOR SHALL PROVIDE SUCH BARRICADE AS NECESSARY FOR PROTECTION OF PEDESTRIANS FROM CONSTRUCTION WORK - TYPICAL.
7. SALVAGE AND REUSE ALL EXISTING DOORS AS NOTED.
8. ALL EXISTING MATERIAL THAT IS REUSED SHALL BE REPAVED, REWORKED AND PUT UP IN FIRST CLASS CONDITION PRIOR TO REUSE. ANY EXISTING MILLWORK (INCLUDING DOORS) SHALL BE TOUCHED-UP OR REFINISHED AS NECESSARY FOR A LIKE-NEW APPEARANCE.
9. OWNER TO RETAIN ALL MATERIAL AND ITEMS NOT REUSED IN NEW CONSTRUCTION.
10. CONTRACTOR TO REMOVE ANY EXISTING NAILS, HOOKS, ETC., PATCH, REPAIR AND PAINT WALLS (TEXTURE TO MATCH EXISTING THROUGHOUT) AS REQUIRED FOR A PAINTED FINISHED WALL SURFACE TO MATCH ADJACENT WALLS AND BRING PARTITIONS UP TO A FIRST CLASS CONDITION. PROPER TRANSITIONS SHALL BE MADE WHERE NEW DOORS OCCUR (AT FLOORS, WALLS, AND CEILINGS) UNLESS NOTED OTHERWISE.
11. ALL NEW INTERIOR WALLS, GY. BD. CEILING, AND DOOR FRAMES TO RECEIVE NEW PAINT, RE: FINISH SCHEDULE.
12. NEW FLOORING, RE: FINISH SCHEDULE.
13. ALL NEW DOORS ARE TO RECEIVE NEW HARDWARE TO MEET ADA REQUIREMENTS. ALL LATCH AND LOCK SETS SHALL BE LEVER TYPE AND ALL DOOR OPENINGS SHALL HAVE A 32" MIN. CLEAR BETWEEN DOOR STOPS.
14. INFILL EXISTING DOOR / CASED OPENING AS SHOWN ON PLANS.
15. GY. BD. WALL EXPANSION JOINTS SHOULD BE AT 20' MAX SPACING.
16. PRIOR TO PURCHASING ANY MATERIALS OR STARTING ANY WORK, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DUCTWORK SIZES AND LOCATIONS, EQUIPMENT, ETC SHOWN ON DRAWINGS OR AFFECTING THIS WORK AND SHALL REPORT ANY DEVIATIONS TO THE ARCHITECT. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL MECHANICAL EQUIPMENT, DUCTWORK, ETC TO FIT WITHIN THE SPACE ALLOWED BY EXISTING CONDITIONS.
17. CONTRACTOR TO REPAIR ANY DAMAGED TO EXISTING PEMB ROLLED INSULATION DURING CONSTRUCTION.
18. EXISTING DOOR CONTACTS, CARD READERS, AND OTHER ACCESS CONTROLS TO REMAIN. ALL ASSOCIATED CABLING SHALL REMAIN AND/OR BE RE-FED AS NECESSARY TO MAINTAIN CURRENT SYSTEM FUNCTIONALITY.
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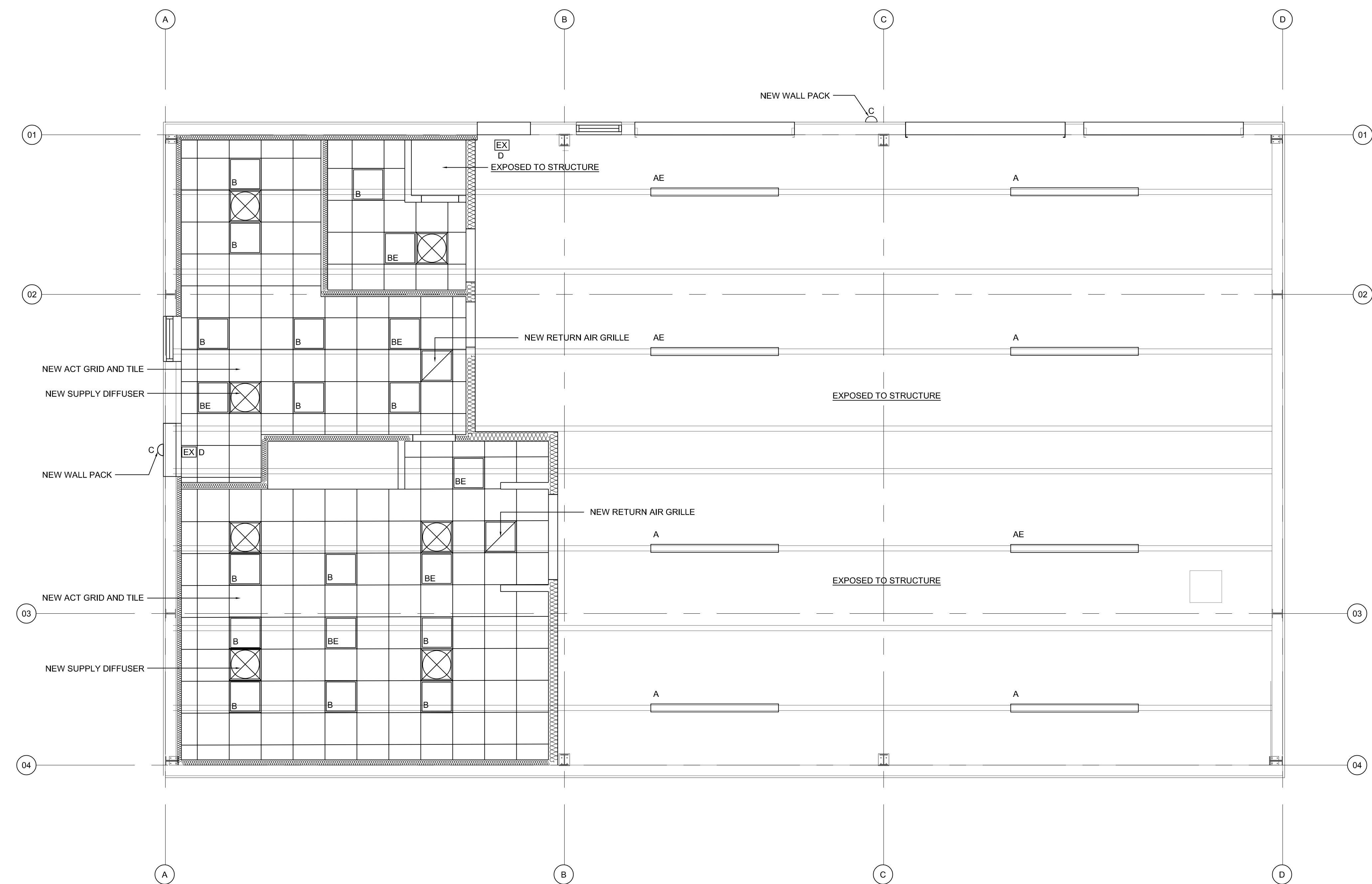


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SHEET
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STREETS
DIMENSIONED
FLOOR PLAN

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NORTH
01 SIGN SHOP
REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND	
RECEPTACLES	
- COUNTERTOP MOUNTED	
(MIN. 4" ABOVE BACKSPLASH, COORDINATE WITH BACKSPLASH MATERIAL)	
DUPLEX FLOOR RECEPTACLE OUTLET	01
DUPLEX RECEPTACLE OUTLET	02
GFCI (GROUND FAULT CIRCUIT INTERRUPTER) OUTLET	03
QUADRUPLEX OUTLET	04
SPECIALTY AMP OUTLET	

ELECTRICAL LEGEND	
SURFACE MOUNTED LINEAR LIGHTING	01
S.D. SMOKE DETECTOR	02
LIGHT FIXTURE (CEILING MOUNTED)	03
LIGHT FIXTURE (SUSPENDED)	04
RECESSED LIGHTING	
DIRECTIONAL RECESSED LIGHTING	
LIGHT FIXTURE (WALL MOUNTED)	
WALL SCONCE	
EXHAUST FAN	
UNDERCOUNTER LIGHTING	
FLOOD/SPOT LIGHTS	
GARAGE DOOR BUTTONS	
CEILING FAN	
SWITCHES	
SINGLE WALL SWITCH	01
DIMMER SWITCH	02
3-WAY WALL SWITCH	03

GENERAL NOTES	
• ELECTRICAL SYSTEMS TO BE INSTALLED	BY A LICENSED CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE CODES
• ALL ELECTRICAL FIXTURES TO BE LED, TYP.	
• CONTRACTOR TO COORDINATE W/ OWNER ON REQUIRED NATURAL GAS APPLIANCES AND EQUIPMENT	
• CONTRACTOR TO COORDINATE W/ OWNER ON REQUIRED OUTLETS ON THE COUNTERS IN THE KITCHEN	
• CONTRACTOR TO COORDINATE W/ MECHANICAL CONTRACTOR ON REQUIRED POWER TO ALL HVAC UNITS - TYP.	
• CONTRACTOR TO COORDINATE W/ EQUIPMENT INSTALLERS ON REQUIRED OUTLETS IN MECHANICAL ROOM	
• ALL EXTERIOR OUTLETS AND FIXTURES TO BE EXTERIOR GRADE, TYP.	

LIGHT FIXTURE SCHEDULE				
Fixture	Description	Manufacturer	Series	Remarks
A	LINEAR FIXTURE	COLUMBIA	LXEP8-40XX-DCA-EU	8' LONG FIXTURE MOUNTED TO PEMB STRUCTURE
B	2X2 PANEL	COLUMBIA	CBT24-A-LSCS-EDD	2X2 FLAT PANEL FIXTURE FOR OFFICE AREA AT SIGN SHOP
C	WALL PACK	COLUMBIA	PVL3-180L-60-4K7-U-BLT	OUTDOOR WALL PACKS AT SIGN SHOP
D	EXIT LIGHT	DUAL LITE	LEWSRXNE	EDGE LIT EXIT SIGNS AT SIGN SHOP
E	EXISTING 2X4	N/A	N/A	RELOCATE EXISTING FIXTURES IN STREETS BREAKROOM

NOTE:
1. FIXTURES AE, BE, and EE ARE ON EMERGENCY BATTERY BACKUP
2. ALL LIGHTS TO BE LED, TYP.
3. ANYTHING LABELED "XX" OR "XX" IN THE FIXTURE SERIES, MEANS THE DELIVERED LUMENS STILL NEEDS TO BE DETERMINED

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ARCHITECT'S SEAL
STATE OF OKLAHOMA
ANTON D. MEDINA
1976
LEONARD ARCHITECT
01/15/2026

PROJECT

CITY OF MOORE
632 VERMEER DRIVE
MOORE, OKLAHOMA 73160



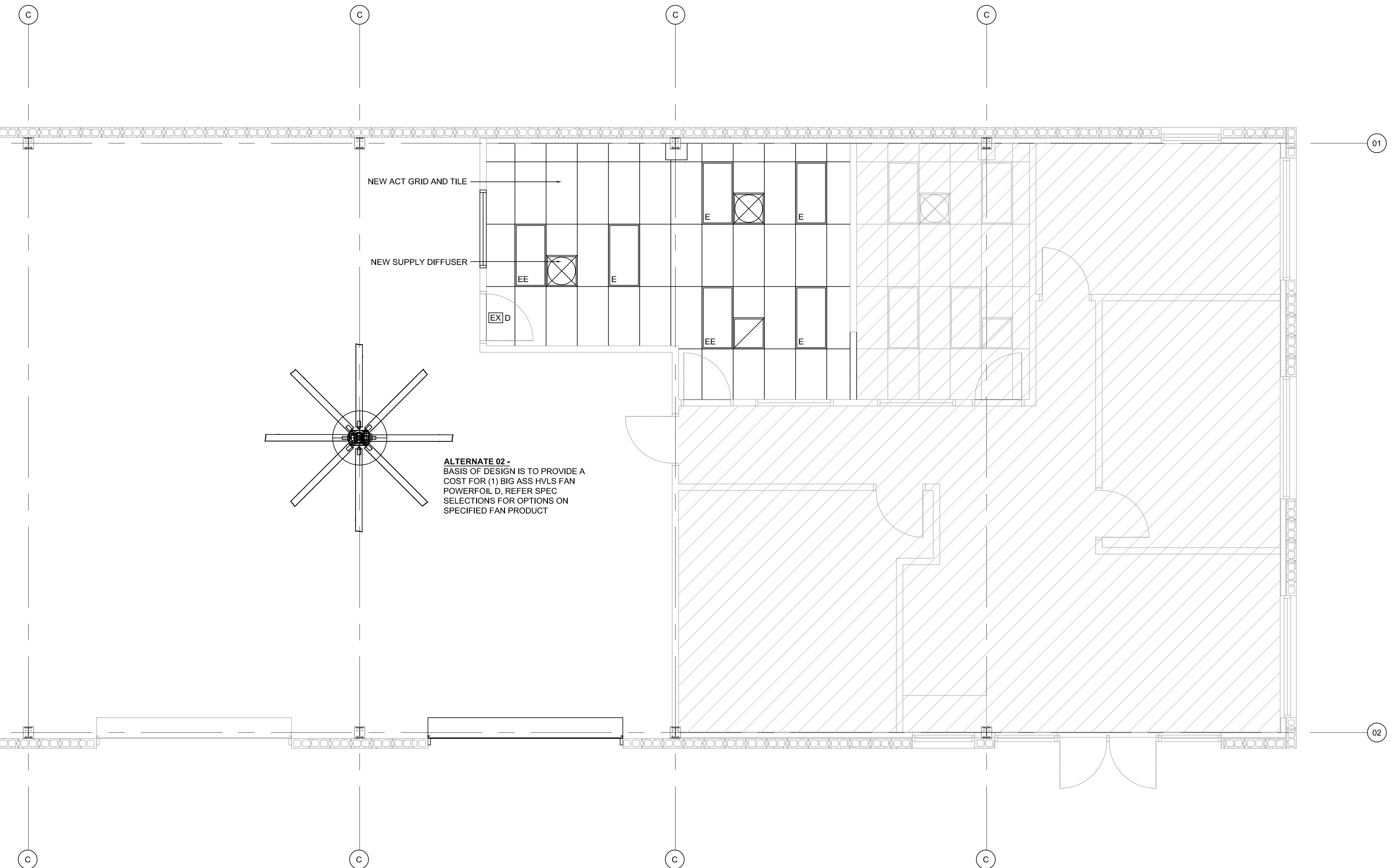
ISSUE FOR BIDDING
01/15/2026

SHEET TITLE
SIGN SHOP REFLECTED CEILING PLAN
SHEET NUMBER

A230

PROJECT NUMBER
2516

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01

STREETS BRREAK ROOM REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

NOTE:
1. FIXTURES AS BE, AND BE ARE ON EMERGENCY BATTERY BACKUP
2. ALL LIGHTS TO BE LED, TYP.
3. ANYTHING LABELED 'X' OR 'XX' IN THE FIXTURE SERIES, MEANS THE DELIVERED LUMENS STILL NEEDS TO BE DETERMINED

LIGHT FIXTURE SCHEDULE				
Fixture	Description	Manufacturer	Series	Remarks
A	LINEAR FIXTURE	COLUMBIA	LXEP840XX-DCA-EU	8' LONG FIXTURE MOUNTED TO PEMA STRUCTURE
B	2X2 PANEL	COLUMBIA	CBT24-A-LSCS-EDD	2X2 FLAT PANEL FIXTURE FOR OFFICE AREA AT SIGN SHOP
C	WALL PACK	COLUMBIA	PVL3-180L-60-4K7-U-BLT	OUTDOOR WALL PACKS AT SIGN SHOP
D	EXIT LIGHT	DUAL LITE	LEWSRXNE	EDGE LIT EXIT SIGNS AT SIGN SHOP
E	EXISTING 2X4	N/A	N/A	RELOCATE EXISTING FIXTURES IN STREETS BREAKROOM

ELECTRICAL LEGEND	
RECEPTACLES	
-	COUNTERTOP MOUNTED (MIN. 4" ABOVE BACKSPLASH, COORDINATE WITH BACKSPLASH MATERIAL)
□	DUPLEX FLOOR RECEPTACLE OUTLET
○	DUPLEX RECEPTACLE OUTLET
●	GFCI (GROUND FAULT CIRCUIT INTERRUPTER) OUTLET
■	QUADRUPLE OUTLET
◎	SPECIALTY AMP OUTLET

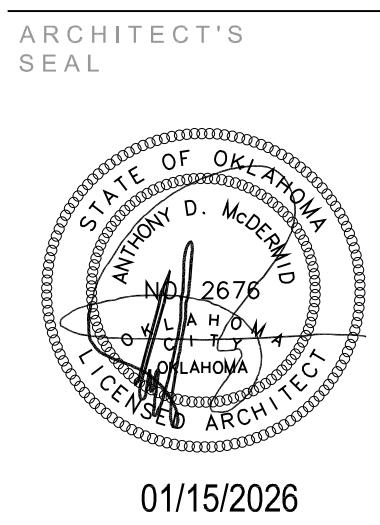
ELECTRICAL LEGEND	
□	SURFACE MOUNTED LINEAR LIGHTING
○	SMOKE DETECTOR
×	LIGHT FIXTURE (CEILING MOUNTED)
◎	LIGHT FIXTURE (SUSPENDED)
○	RECESSED LIGHTING
○	DIRECTIONAL RECESSED LIGHTING
○	LIGHT FIXTURE (WALL MOUNTED)
○	WALL SCONCE
EX	EXHAUST FAN
—	UNDERCOUNTER LIGHTING
—	FLOOD/SPOT LIGHTS
●	GARAGE DOOR BUTTONS
○	CEILING FAN
SWITCHES	
□	SINGLE WALL SWITCH
○	DIMMER SWITCH
○	3-WAY WALL SWITCH

GENERAL NOTES	
•	ELECTRICAL SYSTEMS TO BE INSTALLED BY A LICENSED CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE CODES
•	ALL ELECTRICAL FIXTURES TO BE LED, TYP.
•	CONTRACTOR TO COORDINATE W/ OWNER ON REQUIRED NATURAL GAS APPLIANCES AND EQUIPMENT
•	CONTRACTOR TO COORDINATE W/ OWNER ON REQUIRED OUTLETS ON THE COUNTERS IN THE KITCHEN
•	CONTRACTOR TO COORDINATE W/ MECHANICAL CONTRACTOR ON REQUIRED POWER TO ALL HVAC UNITS - TYP.
•	CONTRACTOR TO COORDINATE W/ EQUIPMENT INSTALLERS ON REQUIRED OUTLETS IN MECHANICAL ROOM
•	ALL EXTERIOR OUTLETS AND FIXTURES TO BE EXTERIOR GRADE, TYP.

415 Broadway
Oklahoma City
Oklahoma 73102



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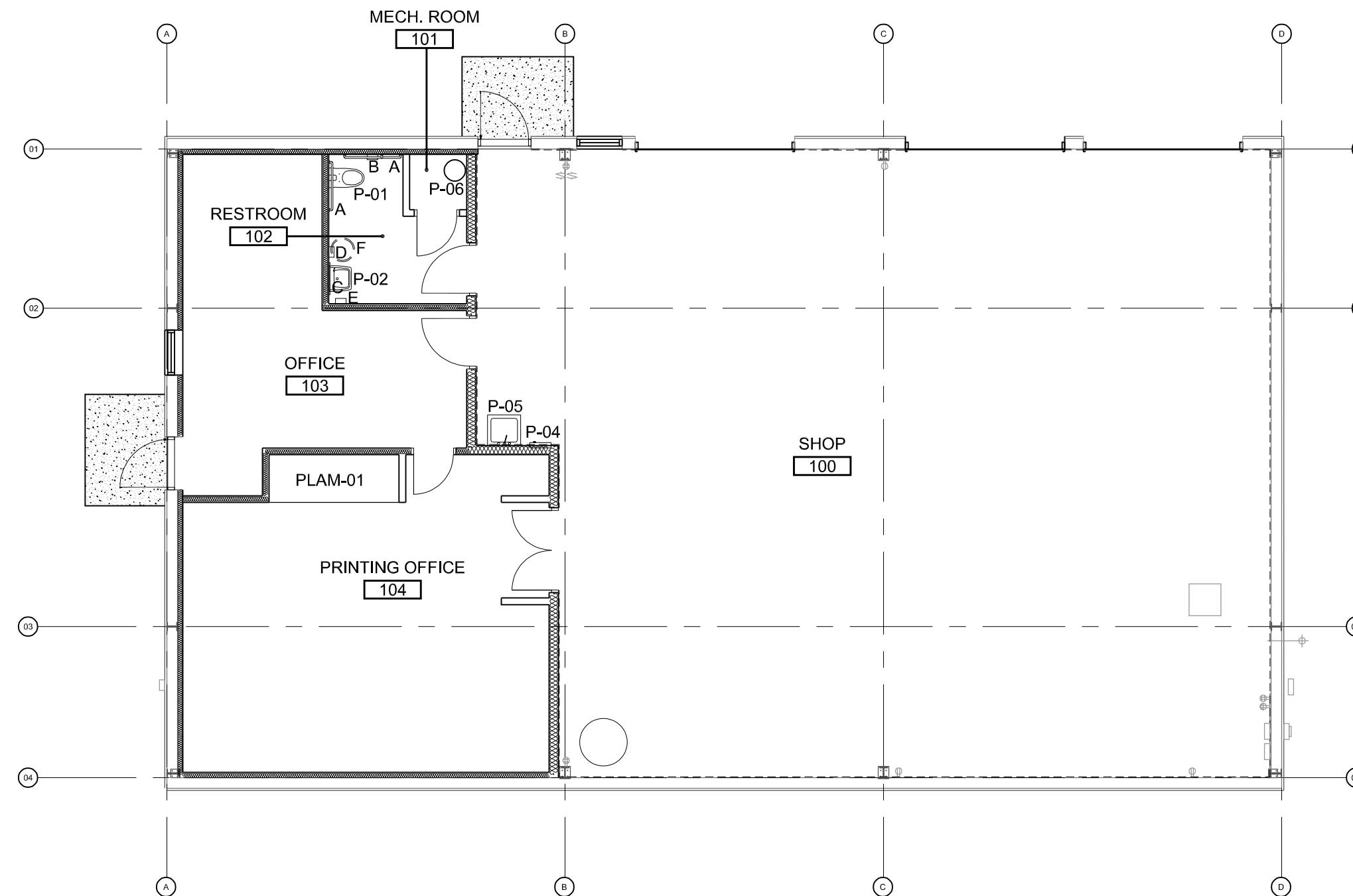
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REFLECTED
CEILING PLAN

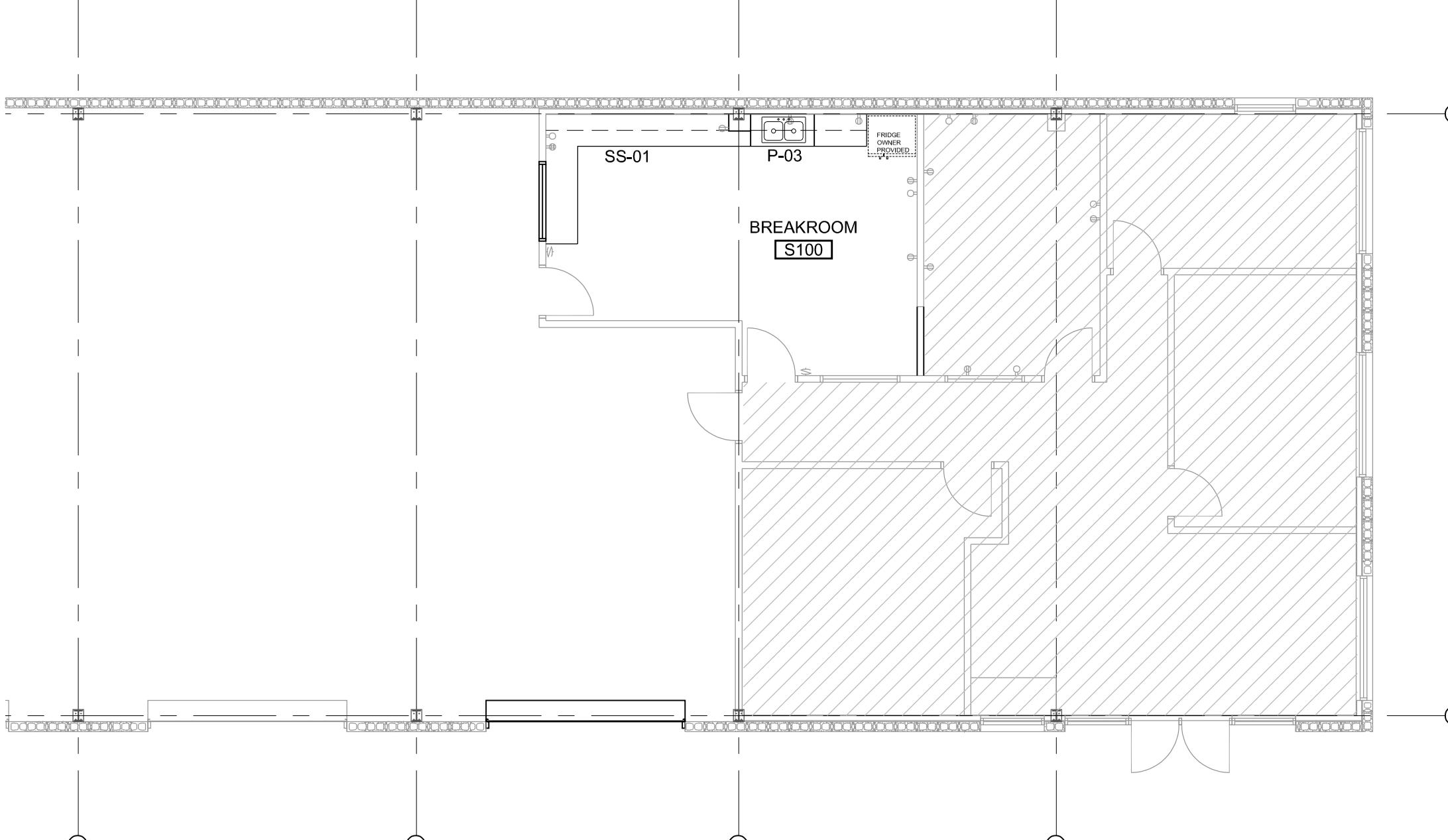
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SIGN SHOP FLOOR PLAN
01
NORTH
SCALE: 1/8" = 1'-0"



STREETS BREAKROOM FLOOR PLAN
02
NORTH
SCALE: 1/8" = 1'-0"

MATERIAL/COLOR LEGEND

FLOOR FINISH

MARK	PRODUCT	MANUFACTURER/ SUPPLIER	COLOR/MODEL #	NOTES
SC-01	SEALED CONCRETE	W.R. MEADOWS	N/A	LIQUI-HARD ULTRA
PC-01	POLISHED CONCRETE	W.R. MEADOWS	N/A	GRIND AND POLISH TO MATCH EXISTING OFFICE FLOORING - APPLY LIQUI-HARD ULTRA

BASE AND TRIM FINISH

MARK	PRODUCT	MANUFACTURER/ SUPPLIER	COLOR/MODEL #	NOTES
RB-01	RESILIENT BASE	ROPPE	PINNACLE RUBBER BASE, STANDARD TOE, 4"	BLACK AT SIGN SHOP / MATCH EXISTING AT STREETS BREAKROOM

WALL FINISH

MARK	PRODUCT	MANUFACTURER/ SUPPLIER	COLOR/MODEL #	NOTES
PT-01	PAINT	SHERWIN WILLIAMS	DOVETAIL SW7018	HOLLOW METAL DOOR FRAME COLOR (INTERIOR AND EXTERIOR SIDE) / SIGN SHOP
PT-02	PAINT	SHERWIN WILLIAMS	DORIAN GRAY SW7017	HOLLOW METAL DOORS (INTERIOR AND EXTERIOR SIDE) / SIGN SHOP
PT-03	PAINT	SHERWIN WILLIAMS	REPOSE GRAY SW7015	INTERIOR GYP. BD. WALLS & SHOP WALLS / SIGN SHOP

CEILING FINISH

ACT-01	ACOUSTICAL CEILING TILE	ARMSTRONG CEILING	ULTIMA TEGULAR, WHITE 24"X24"	16" SUSPENDED GRID
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MILLWORK FINISH

PLAM-01	HIGH PRESSURE PLASTIC LAMINATE	FORMICA	MILLENNIUM OAK, OILED WOOD TEXTURE	GRAIN TO RUN VERTICALLY / STREETS BREAKROOM
SS-01	SOLID SURFACE	FORMICA	BLANCO TERRAZO	COUNTERTOP & BACKSPLASH / STREETS BREAKROOM

ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR	BASE	WALL				CEILING	REMARKS
				NORTH	EAST	SOUTH	WEST		
100	SIGN SHOP - SHOP	SC-01	N/A	PT-04 ON GYP. BD.	PT-04 ON PLYWOOD	PT-04 ON PLYWOOD	PT-04 ON PLYWOOD	OPEN TO STRUCTURE	-
101	SIGN SHOP - MECH. ROOM	SC-01	N/A	PT-04	PT-04	PT-04	PT-04	OPEN TO STRUCTURE	-
102	SIGN SHOP - RESTROOM	SC-01	RB-01	PT-04	PT-04	PT-04	PT-04	ACT	-
103	SIGN SHOP - OFFICE	SC-01	RB-01	PT-04	PT-04	PT-04	PT-04	ACT	-
104	SIGN SHOP - PRINTING OFFICE	SC-01	RB-01	PT-04	PT-04	PT-04	PT-04	ACT	-
S100	STREETS - BREAKROOM	PC-01	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	-

RESTROOM ACCESSORY LEGEND

A	18", 36", & 42" GRAB BARS AS REQUIRED BY CODE, BRADLEY 832
B	TOILET PAPER DISPENSER, BRADLEY 5426-11
C	24" X 36" MIRROR, BRADLEY 747-024360
D	PAPER TOWEL DISPENSER, BRADLEY 2494
E	SOAP DISPENSER, BRADLEY 6A01
F	OWNER PROVIDED TRASH CAN

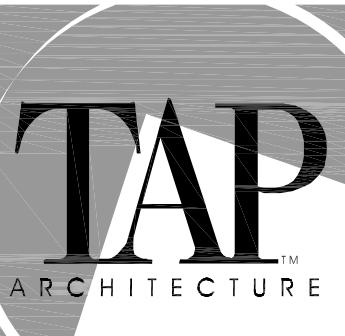
PLUMBING FIXTURE LEGEND

P-01	WATER CLOSET - SLOAN ELONGATED FLOOR-MOUNTED, ST-2009 / ELECTRIC FLUSH VALVE SLOAN G2 8111 / TOILET SEAT COVER (WHITE)
P-02	LAVATORY - SLOAN WALL MOUNTED LAV SS-3003 / FAUCET - SLOAN SENSOR FAUCET, SF-2350 / LAVATORY GRID DRAIN & P-TRAP / COMMERCIAL GRADE HEAVY DUTY STOPS / TRAP COVERS / ZURN CONCEALED ARM CARRIER SYSTEM, Z1231
P-03	SINK - DOUBLE BOWL DROP IN ADA SINK W/ DRAIN ELKAY LRAD331965 / P-TRAP / FAUCET - SINGLE HANDLE KITCHEN FAUCET K-30613 / COMMERCIAL GRADE HEAVY DUTY STOPS
P-04	DRINKING FOUNTAIN - WILLOUGHBY INDUSTRIES WBF-1RFM, STAINLESS STEEL RECESSED BOTTLE FILLER
P-05	LAVATORY - WILLOUGHBY INDUSTRIES CSS-2419, WALL MOUNTED 14 GA 304 STAINLESS STEEL ADA COMPLIANT FAUCET - SERVICE SINK FAUCET T&S B-0665-BSTR
P-06	NEW HOT WATER TANK (ELECTRIC)

415 Broadway

Oklahoma City

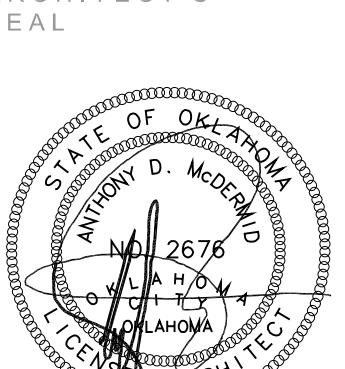
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ROOM FINISH
SCHEDULE
& MATERIALS

SHEET

NUMBER

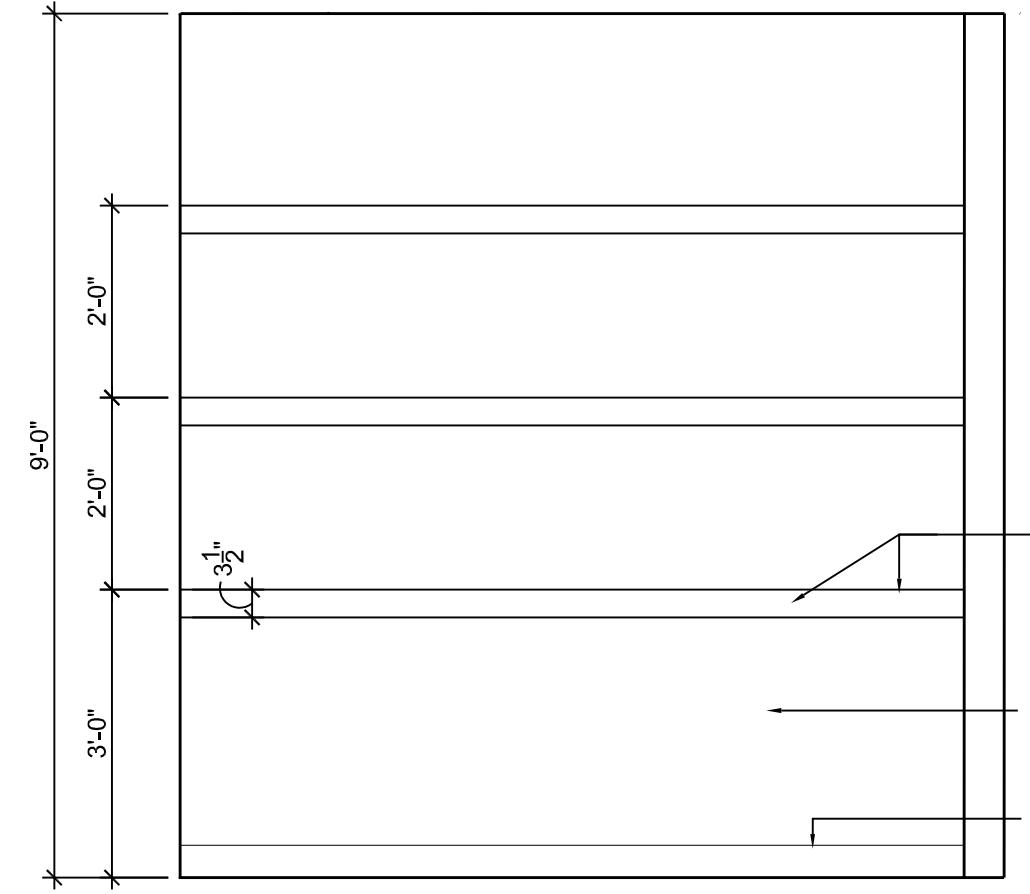
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PROJECT

NUMBER

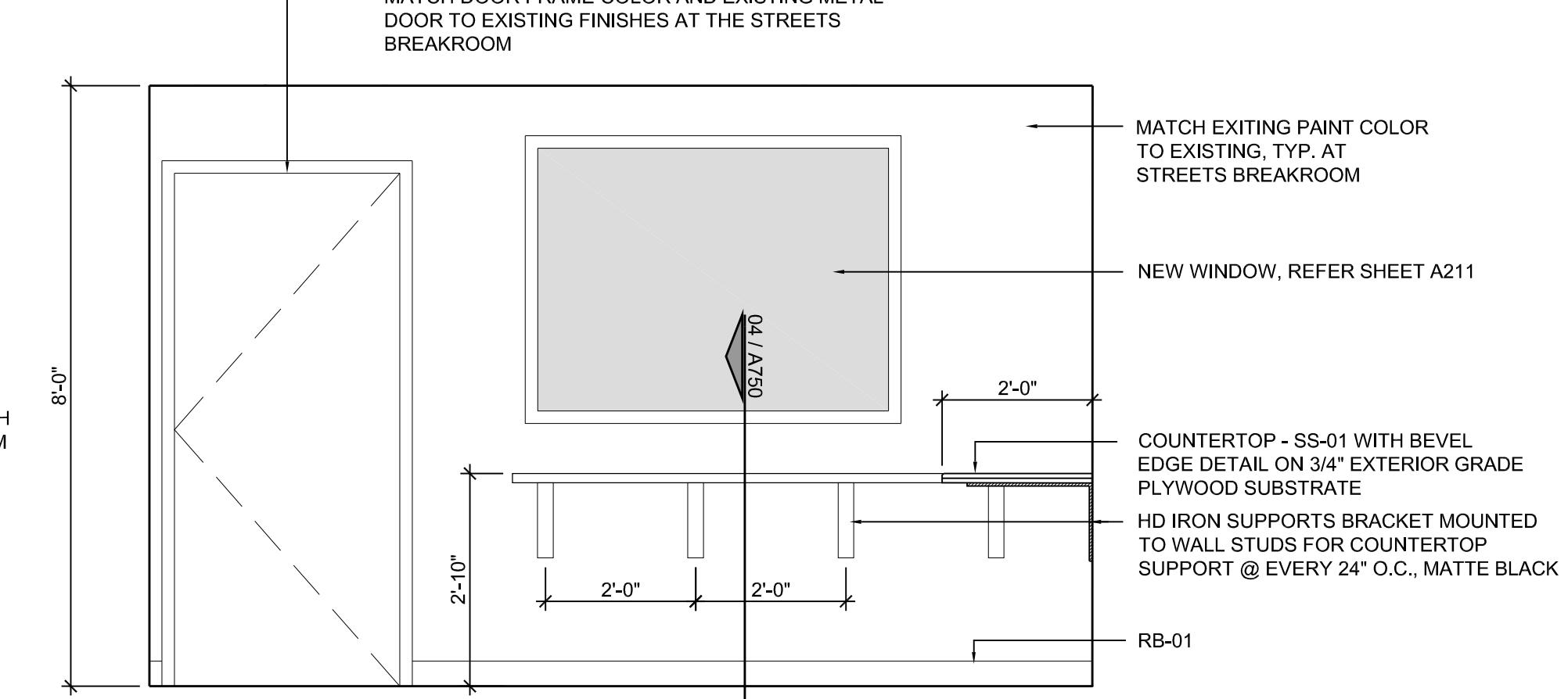
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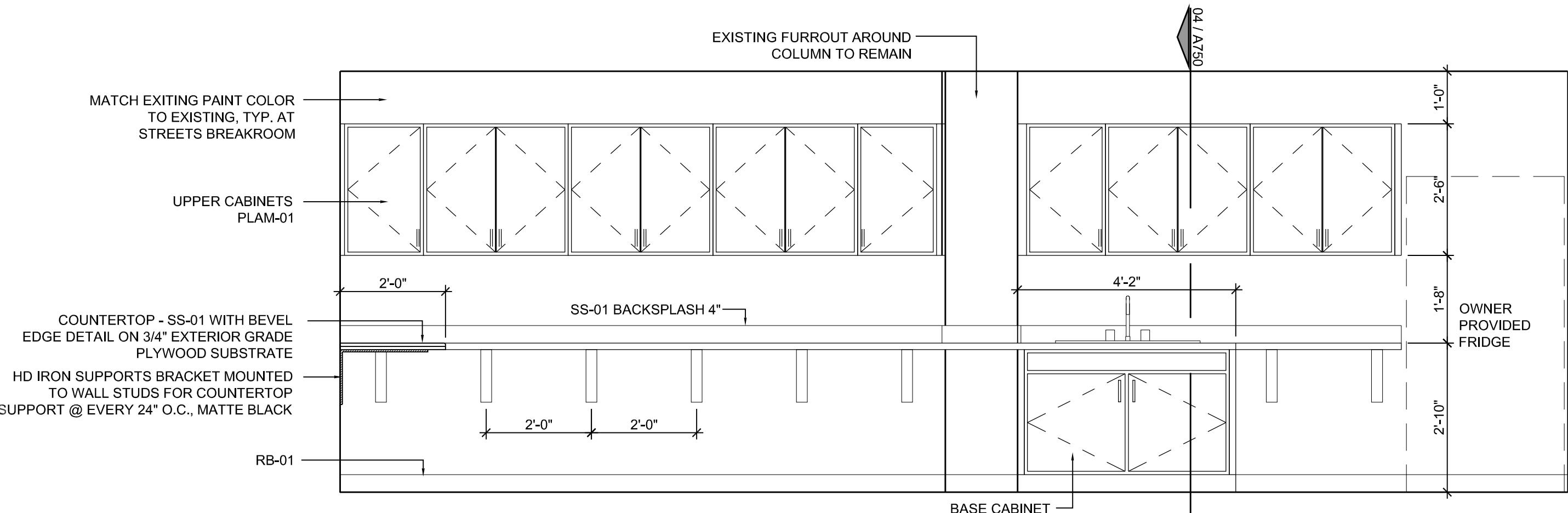
01 SIGN SHOP
SHELVING ELEVATION

SCALE: 1/2" = 1'-0"



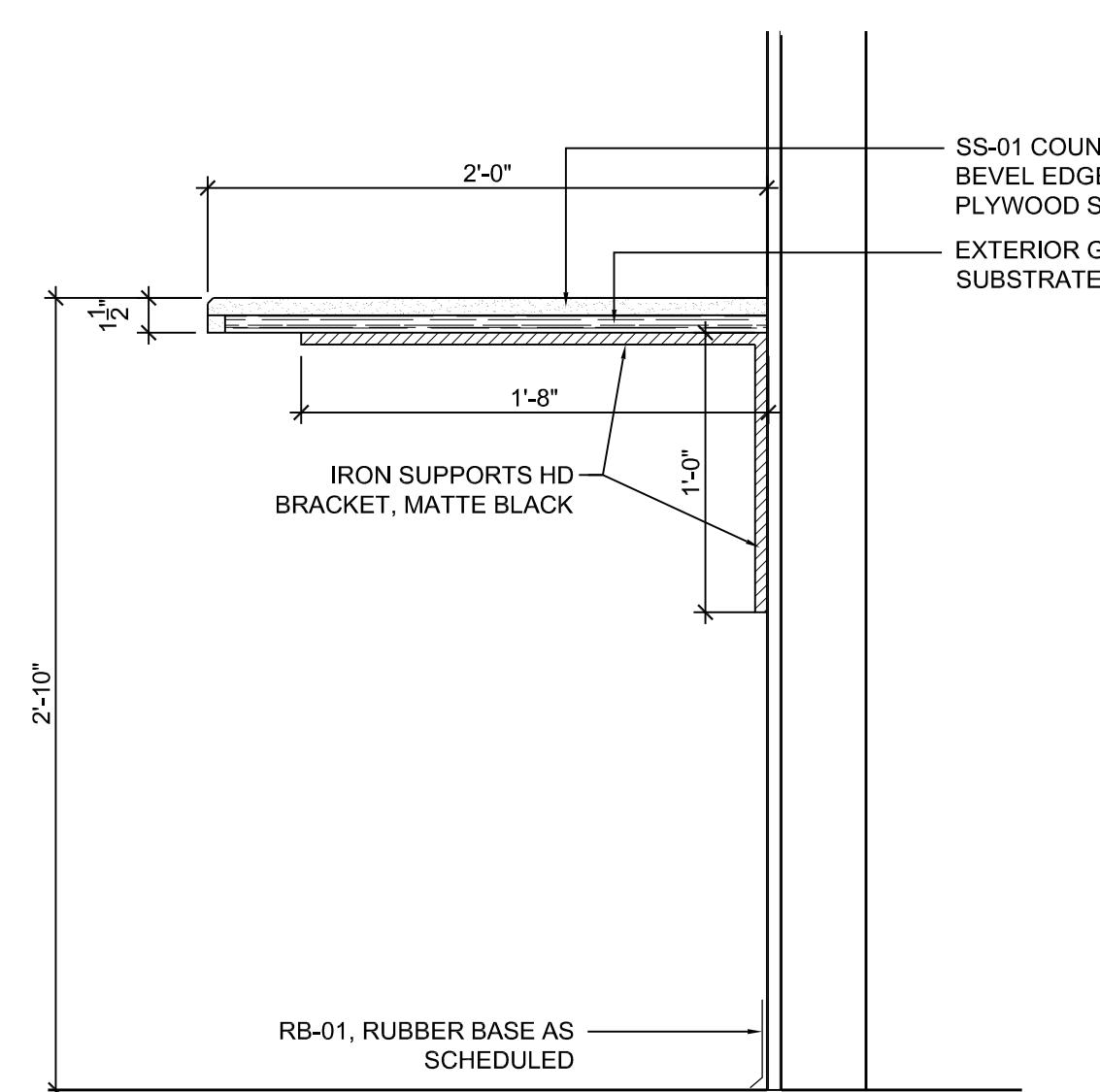
02 STREETS BREAKROOM
COUNTERTOP ELEVATION

SCALE: 1/2" = 1'-0"



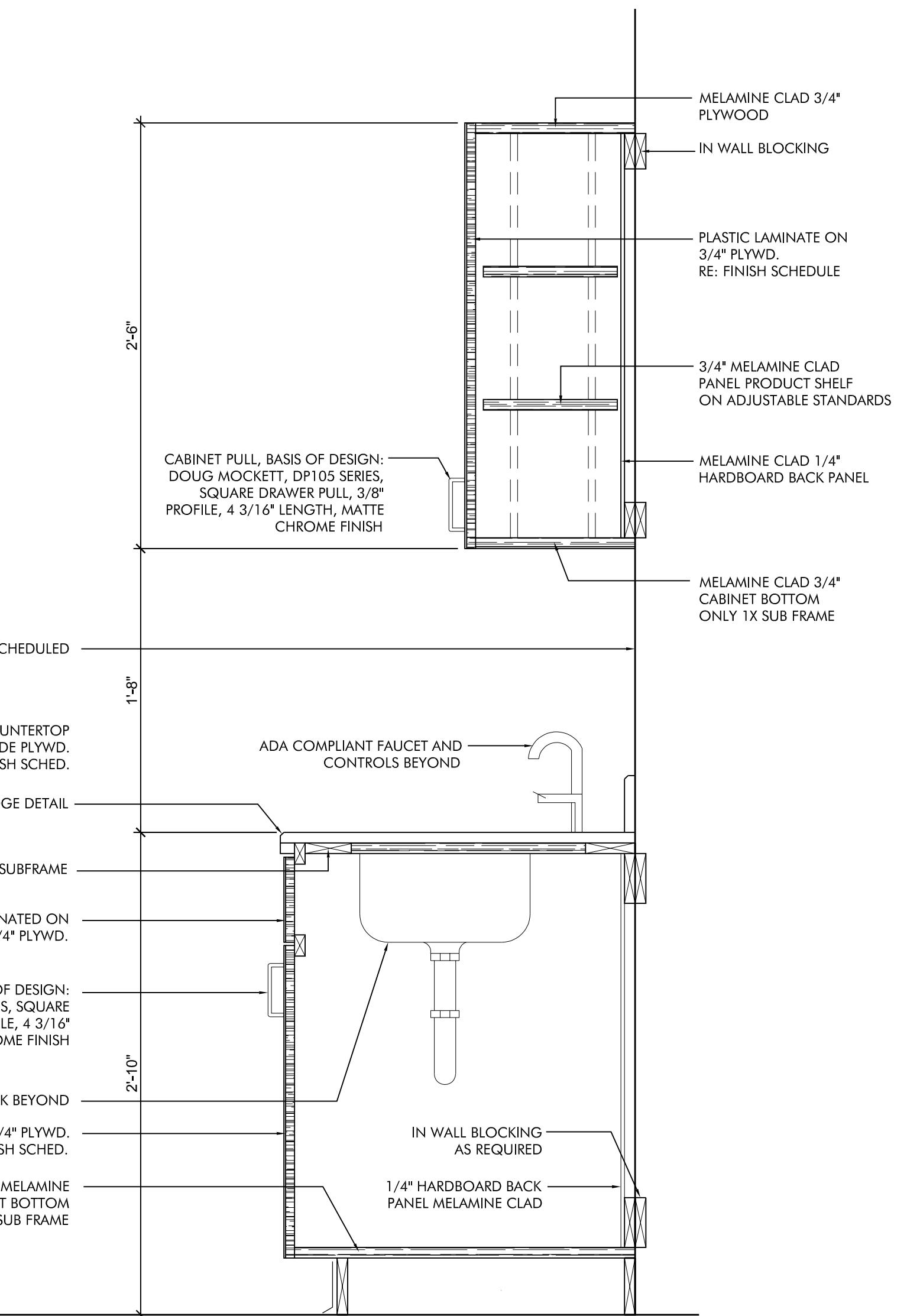
03 STREETS BREAKROOM
COUNTERTOP ELEVATION

SCALE: 1/2" = 1'-0"



04 STREETS BREAKROOM
COUNTERTOP SECTION

SCALE: 1 1/2" = 1'-0"



05 STREETS BREAKROOM
MILLWORK SECTION

SCALE: 1 1/2" = 1'-0"