

CITY OF MOORE

SIGN SHOP & STREETS BREAKROOM RENOVATION

SIGH SHOP - 632 VERMEER DRIVE, MOORE, OKLAHOMA 73160

STREETS BREAKROOM - 2009 N. MOORE AVE., MOORE, OKLAHOMA 73160

CONSULTANT INFORMATION

<div>CLIENT</div> <div>CITY OF MOORE - PUBLIC WORKS ATT: KEVIN MORREN &amp; DENNIS BOTHEEL SIGN SHOP - 632 VERMEER DRIVE STREETS BR. RM. - 2009 N. MOORE AVE. PHONE: 405.793.5070</div>	<div>ARCHITECT</div> <div>TAParchitecture PROJECT ARCHITECT: ANTHONY McDERMID PROJECT MANAGER: CHRIS TEEHEE PROJECT DESIGNER: SANDRA PERKINS 415 N BROADWAY OKLAHOMA CITY, OK 73102 PHONE: 405.232.8787</div>
<div>STRUCTURAL ENGINEER</div> <div>N/A</div>	<div>MECHANICAL ENGINEER</div> <div>N/A</div>
<div>ELECTRICAL ENGINEER</div> <div>N/A</div>	<div>CIVIL ENGINEER</div> <div>N/A</div>
<div>LANDSCAPE ARCHITECT</div> <div>N/A</div>	<div>OTHER</div> <div>N/A</div>
<div>NOTES</div> <div>N/A - All questions during pricing and construction shall be directed tothe architect who will direct the question to the appropriate design consultant.</div>	

415 Broadway

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PROJECT

CITY OF MOORE  
SIGN SHOP/BREAKROOM  
632 VERMEER DRIVE  
2009 N. MOORE AVE.



DRAWINGS FOR

☒ FOR CONSTRUCTION

☐ PRELIMINARY - NOT FOR CONSTRUCTION

☐ REVIEW SET

☐ BID SET

ISSUE DATE

01-15-2026

SHEET

COVER

PROJECT NUMBER

2516

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## ABBREVIATIONS

	CENTER LINE PLATE	F.A. FAST. F.B. F.D. F.E. F.E.C. F.F. F.F.L. FIN. FLEX. FLR. FLUR. FN. FND. F.O.B. F.O.C. F.O.F. F.O.M. F.O.S. F.O.V. F.S. FT. FTG. FUR. FUT.	FIRE ALARM FASTEN, FASTENER FACE BRICK FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISHED FLOOR FINISHED FLOOR LINE FINISH, FINISHED FLEXIBLE FLOOR, FLOORING FLUORESCENT FENCE FOUNDATION FACE OF BRICK FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FACE OF STUDS FACE OF VENEER FULL SIZE FOOT, FEET FOOTING FURRED, FURRING FUTURE	PED. PERF. P.L. PLAM. PLYWD. P.S.I. PT. PVC	PEDESTAL PERFORATE, PERFORATED PROPERTY LINE PLASTIC LAMINATE PLYWOOD POUNDS PER SQUARE FOOT POINT POLYVINYL CHLORIDE
BBD. BD. BEL. BET. BIT. BLDG. BLK. BLKG. B.M. BRNG. B.S. BSMT. BTM. B.U.R. B.W.	BULLETIN BOARD BOARD BELOW BETWEEN BITUMINOUS BUILDING BLOCK BLOCKING BENCH MARK BEARING BOTH SIDES BASEMENT BOTTOM BUILT UP ROOFING BOTH WAYS	GA. GALV. G.C. GL. GYP. BD.	GAGE, GAUGE GALVANIZED GENERAL CONTRACTOR GLASS, GLAZING GYPSUM BOARD	R. R.A. RAD. R.B. R.D. RE. REFLECT. REFR. REV. RM R.O. R.O.W.	RISER RETURN AIR RADIUS RUBBER BASE ROOF DRAIN REFER TO REFLECTOR REFRIGERATOR REVISION, REVISIONS, REVISED ROOM ROUGH OPENING RIGHT OF WAY
CAB. CEM. CF C.G. CH. BD. C.I. CIR. CIRC. C.J. CL. CLG. CLG. HT. CLR. CMU C.O. COL. COMP. CONC. CONST. CONT. CONTR. CORR. CPT CS. C.T. CTR. CY	CABINET CEMENT CUBIC FEET CORNER GUARD CHALK BOARD CAST IRON CIRCLE CIRCUMFERENCE CONTROL JOINT CLOSET CEILING CEILING HEIGHT CLEAR, CLEARANCE CONCRETE MASONRY UNIT CLEAN OUT COLUMN COMPOSITION CONCRETE CONSTRUCTION CONTINUOUS, CONTINUE CONTRACT, CONTRACTOR CORRUGATED CARPET, CARPETED COUNTERSINK CERAMIC TILE COUNTER CUBIC YARD	HARDBD. H.B. H.C. H.D. HDW. H.M. HORIZ. HT. HTG. HVC H.W.H.	HARDBOARD HOSE BIBB HOLLOW CORE HEAVY DUTY HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING HEATING / VENTILATING / AIR CONDITIONING HOT WATER HEATER	S S.C. SCHED. S.D. SECT. SHT. SIM. S.J. S.P. SPEC. SPK. SPL. SQ. S.S. STD. STL. STOR. STRUCT. SUSP.	SOUTH SOLID CORE SCHEDULE STORM DRAIN SECTION SHEET SIMILAR SAW JOINT SOUND PROOF SPECIFICATION, SPECIFICATIONS SPEAKER SPECIAL SQUARE STAINLESS STEEL STANDARD STEEL STORAGE STRUCTURE, STURACTURAL SUSPENDED
D. DEMO D.F. D.H. DIA. DIAG. DIM. DIV. D.L. DR. D.S. DTL. D.W. DWG DWR.	DRAIN DEMOLISH, DEMOLITION DRINKING FOUNTAIN DOUBLE HUNG DIAMETER DIAGONAL DIMENSION DIVISION DEAD LOAD DOOR DOWNSPOUT DETAIL DISHWAHER DRAWING DRAWER	I.D. INCL. INSUL INT.  JAN. J.B. JT.  KIT.	INSIDE DIAMETER INCLUDE, INCLUDED, INCLUDING INSULATE, INSULATED, INSULATION INTERIOR  JANITOR, JANITORS JOIST BEARING JOINT  KITCHEN	T&G T. T.B. TEL. TKBD. TKS. T.O.M. T.O.S. T.O.W. T.V. TYP.	TONGUE AND GROOVE TREAD TOWEL BAR TELEPHONE TACKBOARD TACKSTRIP TOP OF MASONRY TOP OF SLAB TOP OF WALL TELEVISION TYPICAL
E EA. E.F. E.J. EL. ELEC. ELEV. EMERG. ENCL. E.P. EQ. EQUIP. EST. E.W.C. EXH. EXIST. EXP. EXT.	EAST EACH EACH FACE EXPANSION JOINT ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EMERGENCY ENCLOSE, ENCLOSURE ELECTRICAL PANELBOARD EQUAL EQUIPMENT ESTIMATE ELECTRIC WATER COOLER EXHAUST EXISTING EXPOSED EXTERIOR	L LAB. LAD. LAM LAV. L.H. L.L. LT. LW. LWC.  MAS. MAX. MDF MECH. MED. M.H. MIN. MISC. M.O. MOD. MT. MTL. MULL.  N NAT. NIC NOM. N.R. N.R.C. N.T.S.	LENGTH LABORATORY LADDER LAMINATE, LAMINATED LAVATORY LEFT HAND LIVE LOAD LIGHT LIGHTWEIGHT LIGHTWEIGHT CONCRETE  MASONRY MAXIMUM MEDIUM DENSITY FIBERBOARD MECHANICAL MEDIUM MANHOLE MINIMUM MISCELLANEOUS MASONRY OPENING MODULAR MOUNT, MOUNTED, MOUNTING METAL MULLION  NORTH NATURAL NOT IN CONTRACT NOMINAL NOISE REDUCTION NOISE REDUCTION COEFFICIENT NOT TO SCALE	VCT VERT. VIN. VJ.  W W/O W W W.C. WD. WIN.	VINYL COMPOSITION TILE VERTICAL VINYL V-JOINT, V-JOINTED  WITH WITHOUT WEST WIDTH, WIDE WATER CLOSET WOOD WINDOW

NOTE:  
THE ABOVE ABBREVIATIONS ARE STANDARD, AND ARE NOT INTENDED TO BE A LISTING OF ANY OR ALL ABBREVAIONS FOR THIS PROJECT.

## DRAWING TAGS

<b>SECTION TAG:</b> 	<b>PARTITION TYPE:</b> 	<b>INTERIOR ELEV. TAG:</b> 	<b>ELEVATION TAG:</b> 	<b>ROOM TAG:</b> 
<b>SECTION TAG:</b> 	<b>WINDOW TYPE:</b> 	<b>REVISION TAG:</b> 	<b>GRID TAG:</b> 	<b>KEY NOTE:</b> 
<b>DOOR No:</b> 	<b>TAG NOTE:</b> 	<b>DATUM TAG:</b> 	<b>MATCH LINE:</b> 	<b>NORTH ARROW:</b> 

## MATERIAL LEGEND

	EARTH		BRICK		WOOD		BATT INSULATION
	SAND		PLYWOOD		STEEL		SPRAY-APPLIED FOAM INSULATION
	GRAVEL		PARTICLE BOARD		CAST STONE		RIGID INSULATION
	CONCRETE		MDF		MARBLE		CERAMIC TILE
	CONCRETE MASONRY UNIT (CMU)		GYPSUM SHEATHING		GYPSUM WALL BOARD		ACOUSTICAL BOARD / CEILING TILE

**NOTE:**  
THE ABOVE MATERIAL INDICATIONS ARE STANDARD, AND ARE NOT INTENDED TO BE A LISTING OF MATERIALS FOR THIS PROJECT.

## GENERAL NOTES

- CONTRACTOR SHALL RECEIVE IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING ANY WORK THAT IS NOT CLEARLY DEFINED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS SPECIFICALLY, OR OTHERWISE INDICATED, OR WHERE APPLICABLE CODES OR REGULATIONS TAKE PRECEDENCE.
- ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL GIVE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES RULE, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON PERFORMANCE OF THE WORK. MECHANICAL, ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, LOCAL AND STATE JURISDICTIONS, ORDINANCES, AND APPLICABLE REGULATIONS.
- GENERAL CONTRACTOR SHALL SUPERVISE, AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES, FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT, INCLUDING CONTRACT AND COORDINATION WITH ALL AUTHORIZED OWNER REPRESENTATIVES.
- DETAILS ARE INTENDED TO SHOW THE END RESULT OF THE DESIGN AND PERFORMANCE, MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT EXISTING CONDITIONS. SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES AND SERVICES PRIOR TO PROCEEDING WITH THE WORK TO ENSURE PROPER COORDINATION, SEQUENCING AND INSTALLATION OF NEW WORK.
- PROVIDE FIRE SEALANT TO PERIMETER OF ALL PIPING, HVAC SLEEVING OR OTHER TYPE OF THRU-WALL PENETRATION.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY UNFORESEEN CONDITIONS FOR DIRECTION BEFORE PROCEEDING WITH WORK.
- PAINT ALL EXPOSED SURFACES, EXCEPT WHERE ITEMS ARE SCHEDULED TO REMAIN NATURAL OR ARE OTHERWISE RESTRICTED BY LOCAL CODES, ORDINANCES OR AUTHORITIES HAVING JURISDICTION
- GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT TO CHECK BUILDING LAY-OUT PRIOR TO START OF CONSTRUCTION.
- AREA OF CLEAN-UP SHALL INCLUDE ALL DISTURBED EARTH.
- FINISH GRADE AT BUILDING PERIMETERS SHALL BE 6" BELOW FINISH FLOOR UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROTECT EXISTING PAVING AND WALKS THAT REMAIN AND REPAIR OR REPLACE ANY DAMAGE AS A RESULT OF THIS CONSTRUCTION.
- GENERAL CONTRACTOR SHALL PROVIDE ADDITIONAL CONCRETE REQUIRED BY MECHANICAL AND/OR ELECTRICAL.
- CONTRACTOR MAY STOCK PILE SOIL RETAINED FROM EXCAVATION FOR USE DURING CONSTRUCTION. TOP SOIL SHALL BE RETAINED IN A SEPERATE AREA FROM OTHER SOIL FOR USE IN FINISH GRADING. ANY SOIL STOCK PILED AND NOT REUSED FOR CONSTRUCTION SHALL BE DISTRIBUTED OVER THE SITE OR REMOVED FROM THE SITE AS DIRECTED BY OWNER.
- DEVELOP POSITIVE DRAINAGE AWAY FROM NEW AND EXISTING BUILDINGS.
- ORIGINAL TOPOGRAPHIC SURVEY BY \_\_\_\_\_ AND PROVIDED TO ARCHITECT BY OWNER.
- PROVIDE SOLID BLOCKING PER SPECIFICATIONS FOR ALL WALL MOUNTED ACCESSORIES.

## SHEET INDEX

### GENERAL

G110	SHEET INDEX, SYMBOLS, ABBREVIATIONS, MATERIAL LEGEND, GENERAL NOTES
G111	PLUMBING & ELECTRICAL MOUNTING HEIGHTS
G210	CODE
G310	PARITION TYPES

### ARCHITECTURAL

AD210	SIGN SHOP - DEMOLITION FLOOR PLAN
AD211	STREETS BREAK ROOM - DEMOLITION FLOOR PLAN
AD230	SIGN SHOP - DEMOLITION CEILING PLAN
AD231	STREETS BREAK ROOM - DEMOLITION CEILING PLAN
A210	SIGN SHOP - DIMENSIONED FLOOR PLAN
A211	STREETS BREAK ROOM - DIMENSIONED FLOOR PLAN
A230	SIGN SHOP - REFLECTED CEILING PLAN
A231	STREETS BREAK ROOM - REFLECTED CEILING PLAN
A710	ROOM FINISH SCHEDULE
A750	INTERIOR ELEVATIONS & DETAILS

415 Broadway

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PROJECT

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632 VERMEER DRIVE  
MOORE, OKLAHOMA 73160



ISSUES  
REVISIONS

ISSUE FOR BIDDING  
01/15/2026

SHEET  
TITLE

SHEET INDEX, SYMBOLS,  
ABBREVIATIONS, MATERIAL  
LEGEND, GENERAL NOTES

SHEET  
NUMBER

G110

PROJECT  
NUMBER

2516

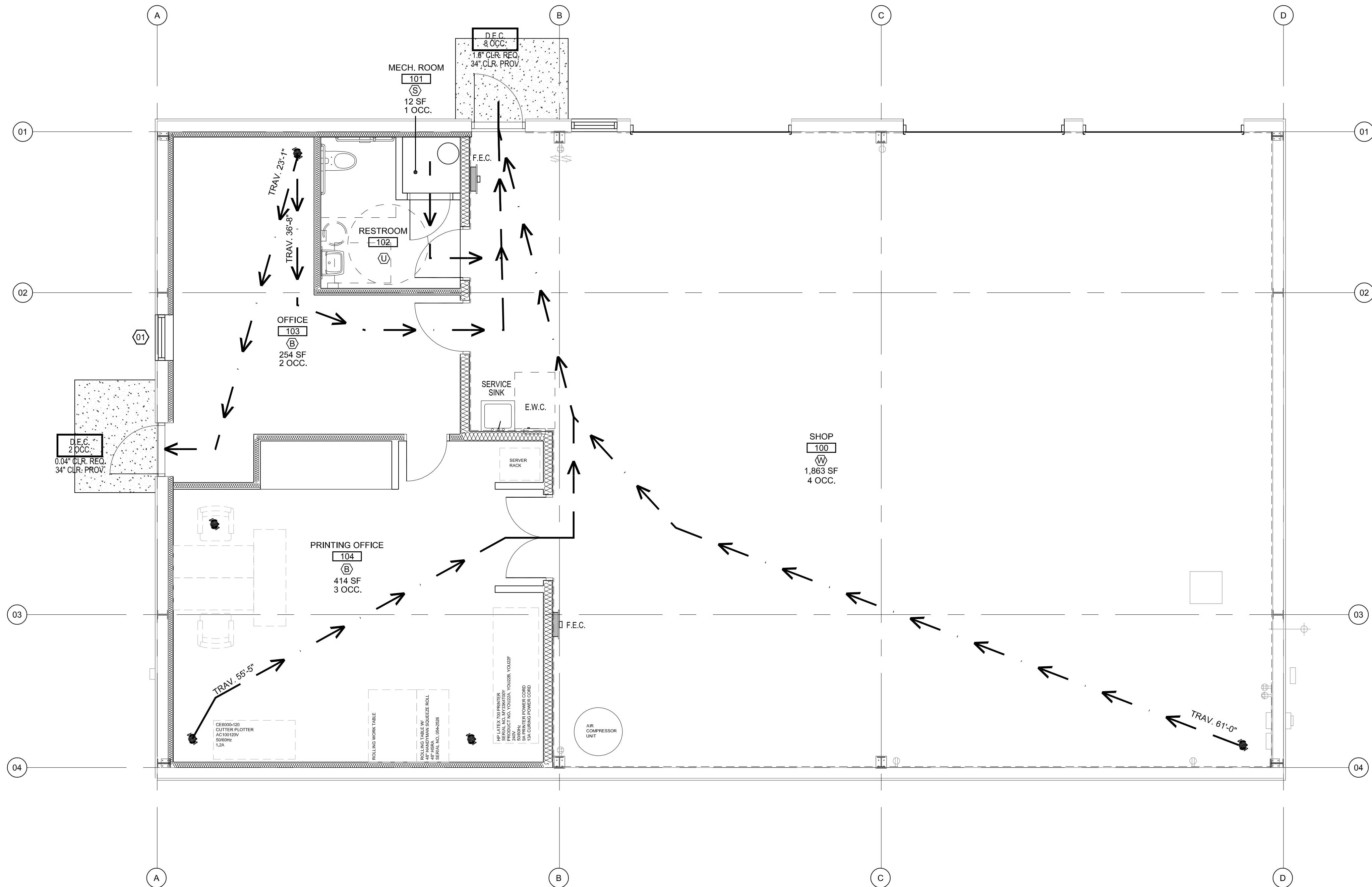
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01 SIGN SHOP  
CODE EGRESS FLOOR PLAN  
SCALE: 1/4" = 1'-0"

## APPLICABLE BUILDING CODES AND STANDARDS

INTERNATIONAL BUILDING CODE - 2018
INTERNATIONAL MECHANICAL CODE - 2018
INTERNATIONAL FUEL GAS CODE - 2018
INTERNATIONAL PLUMBING CODE - 2018
NATIONAL ELECTRICAL CODE (NFPA 70) - 2020

## SIGN SHOP

INTERNATIONAL BUILDING CODE - 2018		CODE SECTION	
OCCUPANCY:	F-1	FACTORY INDUSTRIAL	306.2
		NOT A SPRINKLED BUILDING	
	10	OCCUPANT LOAD	1004.5
CONSTRUCTION TYPE:	IIB		602
ALLOWABLE AREA:	15,500 S.F.		506.2
ALLOWABLE BUILDING HEIGHTS:	2 STORIES		504.4
FRONTAGE INCREASE:	-	NOT REQUIRED	
TOTAL BLDG. AREA S.F.	2,676 S.F.		

FIRE RESISTANCE RATING FOR BUILDING ELEMENTS:			
STRUCTURAL FRAME:	0 HOUR	-	601
BEARING WALLS:	0 HOUR	-	601
NON-BEARING WALLS:	0 HOUR	-	601
FLOOR CONSTRUCTION:	0 HOUR	-	601
ROOF CONSTRUCTION:	0 HOUR	-	601
FIRE AND PARTY WALLS:	0 HOUR	-	706
EXIT CORRIDORS:	1 HOUR	SERVING MORE THAN 30 OCCUPANTS	1020.1

EGRESS WIDTH REQUIREMENTS			
EGRESS WIDTH:	0.2	INCHES PER OCCUPANT SERVED	1005.3.2
CORRIDOR WIDTH:	36" MIN.	-	1020.2
DEAD END CORRIDORS:	20'-0"	-	1020.4
EXITS REQUIRED	2	1-500 OCCUPANTS	1006.3.2
TOTAL EXITS PROVIDED	2	TOTAL EXITS FOR ENTIRE BUILDING	

TRAVEL DISTANCE			
MAX DISTANCE TO EXIT:	200'-0"	WITHOUT SPRINKLER SYSTEM	1017.2

F-1:	-	50% FEMALE AND 50% MALE	
WATER CLOSETS MEN:	0 W.C. PROVIDED 0 URINAL PROVIDED	1 REQUIRED	2902.1
WATER CLOSETS WOMEN:	0 W.C. PROVIDED	1 REQUIRED	2902.1
WATER CLOSETS UNI-SEX:	1 W.C. PROVIDED	0 REQUIRED	
LAVATORIES:	0 MEN PROVIDED 0 WOMEN PROVIDED	1 REQUIRED MALE 1 REQUIRED FEMALE	2902.1
LAVATORIES UNI-SEX:	1 LAVS PROVIDED	0 REQUIRED	
DRINKING FOUNTAINS:	1 PROVIDED	1 REQUIRED	2902.1
SERVICE SINKS	1 PROVIDED	1 REQUIRED	2902.1

## LEGEND

TRAV.	TRAVEL DISTANCE
OCC.	OCCUPANTS
→	DIRECTION OF PATH OF EGRESS
2-HR	2 HOUR FIRE RATED CONSTRUCTION
XXX S.F.	ROOM SQUARE FOOTAGE
F.E.C.	FIRE EXTINGUISHER AND CABINET (FIRE EXTINGUISHER BY OWNER)
DEC. XXX OCC.	DOOR EGRESS CAPACITY
(B)	BUSINESS - ACCESSORY USE GROUP
(S)	STORAGE / MECH. ELECT. - ACCESSORY USE GROUP
(U)	UNCOUNTED AREA - ACCESSORY USE GROUP
(K)	KITCHEN - ACCESSORY USE GROUP
(A)	ASSEMBLY
(W)	WAREHOUSE AREA
(L)	LOCKER ROOM

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SHEET  
TITLE

SIGN SHOP  
CODE EGRESS  
FLOOR PLAN

SHEET  
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<div><div><div><div><div><div></div><div>6" METAL STUD @ 16" O.C.</div><div>5/8" GYP. BD. EACH SIDE</div></div><div><div></div><div>16" TYP.</div></div></div><div><div>TYPE: 3 (NON-RATED)</div><div>5/8" GYP. BD. EACH SIDE OF 6" METAL STUDS AT 16" O.C.</div></div></div><div><div><div><div><div></div><div>CONTINUOUS SOUND BATTS</div><div>6" METAL STUD @ 16" O.C.</div><div>5/8" GYP. BRD. EACH SIDE</div></div><div><div></div><div>16" TYP.</div></div></div><div><div>TYPE: 3A (NON-RATED)</div><div>5/8" GYP. BD. EACH SIDE OF 6" METAL STUDS AT 16" O.C. WITH CONTINUOUS SOUND BATTS.</div></div></div></div><div><div>JOIST RE: STRUCT. FOR TYPE AND DIRECTION</div><div><div></div><div>RE: CLG. PLAN</div></div><div><div>SPECIFIED CEILING RE: PLAN</div><div>6" METAL STUDS AT 16" O.C.</div><div>5/8" GYP. BD. EACH SIDE</div><div>PROVIDE MOISTURE RESISTANT/CEMENTITIOUS BOARD AT WET AREAS</div><div>CONTINUOUS SOUND BATTS AT 5A</div></div></div></div></div>	<div><div><div><div><div><div></div><div>3 5/8" METAL STUD @ 16" O.C.</div><div>5/8" GYP. BD. EACH SIDE</div></div><div><div></div><div>16" TYP.</div></div></div><div><div>TYPE: 1 (NON-RATED)</div><div>5/8" GYP. BD. EACH SIDE OF 3 5/8" METAL STUDS AT 16" O.C.</div></div></div><div><div><div><div><div></div><div>CONTINUOUS SOUND BATTS</div><div>3 5/8" METAL STUD @ 16" O.C.</div><div>5/8" GYP. BD. EACH SIDE</div></div><div><div></div><div>16" TYP.</div></div></div><div><div>TYPE: 1A (NON-RATED)</div><div>5/8" GYP. BD. EACH SIDE OF 3 5/8" METAL STUDS AT 16" O.C. WITH CONTINUOUS SOUND BATTS.</div></div></div></div><div><div>JOIST RE: STRUCT. FOR TYPE AND DIRECTION</div><div><div></div><div>RE: CLG. PLAN</div></div><div><div>SPECIFIED CEILING RE: PLAN</div><div>3 5/8" METAL STUDS AT 16" O.C.</div><div>5/8" GYP. BD. EACH SIDE</div><div>CONTINUOUS SOUND BATTS AT 1A</div></div></div></div></div>	<div><div>GENERAL NOTES:</div><div>PROVIDE SPECIFIED MOISTURE RESISTANT GYPSUM BOARD/CEMENTITIOUS BOARD AT ALL WET-WALL AREAS.</div><div>PROVIDE CONTINUOUS SOUND BATTS AT ALL REST ROOM PARTITIONS.</div><div>BRACE ALL PARTITIONS (NOT DESIGNATED TO EXTEND TO DECK) TO STRUCTURE AT 48" O.C. MIN.</div><div>PROVIDE SPECIFIED BATT INSULATION AT ALL EXTERIOR WALLS. INSULATION SHALL EXTEND FROM F.F. TO BTM. OF ROOF DECK.</div><div>PROVIDE SPECIFIED GYPSUM BOARD CONTROL JOINTS EVERY 30'-0" OF CONTINUOUS WALL RUN MIN.</div><div>PROVIDE SOLID BLOCKING PER SPECIFICATIONS FOR ALL WALL MOUNTED ACCESSORIES.</div><div>REFER TO THE CURRENT EDITION OF THE UNDERWRITERS LABORATORIES INC. FIRE RESISTANCE DIRECTORY FOR ALL UL -NUMBERS REFERENCED ON PLANS.</div><div>EXTEND GYPSUM BOARD 6" ABOVE FINISHED CEILING AT ALL PARTITIONS NOT DESIGNATED TO EXTEND TO DECK.</div><div>ALL RATED WALLS TO COMPLY WITH APPROPRIATED UL NUMBER AND SHALL BE SEALED AT TOP, BOTTOM AS WELL AS AT ALL PENETRATIONS.</div><div>DETAIL A: PROVIDE A 2 1/2" DEEP, 22 GAUGE STEEL, U-SHAPED DEFLECTION CHANNEL AT ALL WALLS DESIGNATED TO EXTEND TO DECK. DEFLECTION CHANNEL TO MAINTAIN A 1 1/2" GAP BETWEEN TOP OF CEILING RUNNER AND THE TOP OF THE DEFLECTION CHANNEL. CEILING RUNNER IS NOT FASTENED TO THE DEFLECTION CHANNEL.</div><div>ALL RATED SYSTEMS SHALL COMPLY WITH THE LATEST UNDERWRITES LABORATORIES INC. (UL) FIRE RESISTANCE DIRECTORY.</div></div>	
<div><div><div>1A</div><div>1</div></div><div>NON-RATED PARTITION</div><div>SCALE: 3/4" = 1'-0"</div></div>	<div><div><div>2A</div><div>2</div></div><div>NON-RATED PARTITION</div><div>SCALE: 3/4" = 1'-0"</div></div>		

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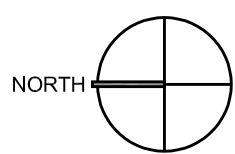
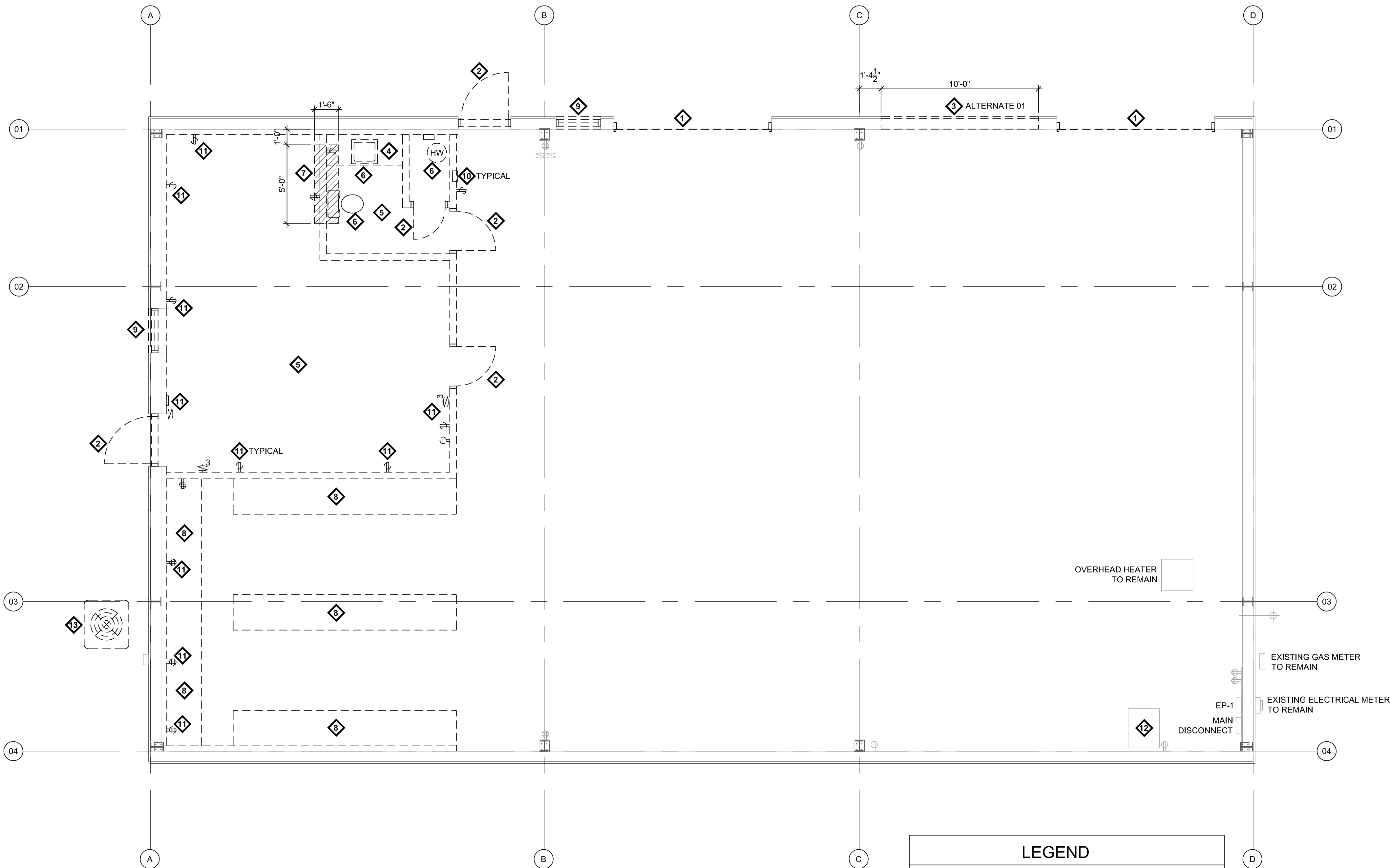
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01

## SIGN SHOP DEMOLITION FLOOR PLAN

SCALE: 1/4" = 1'-0"

LEGEND	
DEMOLITION PLANS	
	EXISTING PARTITIONS TO BE REMOVED
	EXISTING DOOR, FRAME & HARDWARE TO BE REMOVED
	EXISTING CEILING GRID TO BE REMOVED
	EXISTING PARTITION WALL TO REMAIN

### DEMOLITION KEYNOTES:

1. REMOVE EXISTING OVERHEAD DOOR AND REPLACE WITH FACTORY WHITE INSULATED SECTIONAL DOOR W/ VISION LIGHTS AND ELECTRIC OPERATOR
2. REMOVE EXISTING DOOR AND FRAME
3. ALTERNATE 01 - CUT EXISTING EXTERIOR METAL PANEL FOR NEW OVERHEAD DOOR. CONTRACTOR TO PROVIDE NEW PEMB C-CHANNEL FRAMING AND HEADER AND PROVIDE FRAMED OPENING AS NEEDED. WHITE INSULATED SECTIONAL DOOR W/ VISION LIGHTS AND ELECTRIC OPERATOR
4. REMOVE EXISTING MILLWORK
5. REMOVE EXISTING FLOORING, PREP SURFACE FOR INSTALLATION OF NEW FLOORING MATERIAL, RE: FINISH SCHEDULE
6. REMOVE ALL EXISTING PLUMBING FIXTURES, PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING FIXTURES, TRIM, PIPING, VALVES, ETC...IN AREAS TO BE DEMOLISHED
7. SAWCUT CONCRETE SLAB FOR NEW SANITARY LINE. REMOVE CONCRETE INSIDE LINE CUTS W/ JACK HAMMER, REMOVE CONCRETE AND PREP FOR PIPE BEDDING. LAY NEW PIPE, BACK FILL, REPAIR CONCRETE SLAB
8. REMOVE EXISTING WOOD SHELVING UNITS, FRAMING AND SUPPORTS
9. REMOVE EXISTING WINDOW AND PREP FOR NEW WINDOW UNIT
10. ALL EXISTING PIPING ABOVE GRADE NOT REMAINING IN SERVICE AFTER NEW CONSTRUCTION SHALL BE REMOVED
11. ALL EXISTING SANITARY, DOMESTIC WATER, AND ELECTRICAL CONDUIT THAT ARE LOCATED IN EXISTING WALLS TO BE DEMOLISHED AND REMAINING IN SERVICE AFTER CONSTRUCTION SHALL BE RELOCATED TO NEW WALLS OR SECURED TO THE EXISTING PEMB STRUCTURE AS NOTED
12. EXISTING COMPUTER SERVER RACK. CONTRACTOR TO RELOCATE THIS PIECE OF EQUIPMENT INSIDE THE NEW CONDITIONED OFFICE AREA, RE: NEW FLOOR PLAN LAYOUT, A210
13. REMOVE AND REPLACE OUTSIDE HVAC CONDENSER, REFER TO SPECIFIED UNIT FOR ADDITIONAL INFORMATION

### GENERAL DEMOLITION NOTES:

1. ALTERATIONS TO EXISTING WORK BEING OF SUCH NATURE THAT ALL FACETS OF THE WORK ARE IMPOSSIBLE TO DETAIL AND SPECIFY. IT IS THEREFORE THE GENERAL CONTRACTORS AND DEMOLITION CONTRACTORS RESPONSIBILITY TO VISIT THE SITE, CAREFULLY EXAMINE THE BUILDING AND GROUNDS, AND COMPLETELY FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND RELATE SUCH CONDITIONS TO THE SCOPE OF THE PROPOSED NEW WORK.
2. THE GENERAL CONTRACTOR (G.C.) IS RESPONSIBLE FOR REMOVAL OF ALL STRUCTURE, FOOTINGS, WALLS, FLOOR SLABS, FIXTURES, ELECTRICAL, PLUMBING, MECHANICAL, AND REFRIGERANT, WHETHER SHOWN OR NOT SHOWN ON THE DEMOLITION DRAWINGS IN THIS SET, AS REQUIRED TO PERFORM ALL NEW WORK INDICATED ON DRAWINGS UNLESS SPECIFICALLY INDICATED AS RESPONSIBILITY OF OWNER OR OWNER HIRED CONTRACTOR. THE G.C. SHOULD VISIT THE PROJECT SITE PRIOR TO BIDDING AND INSPECT EXISTING CONDITIONS. ONLY ITEMS FOUND BELOW BUILDING SLAB THAT ARE NOT DESCRIBED IN THESE DRAWINGS AND ARE IN CONFLICT WITH THE NEW WORK WILL BE CONSIDERED FOR ADDITIONAL COMPENSATION.
3. ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL BE ACCEPTABLE TO LOCAL AUTHORITIES. IT IS RECOMMENDED THAT THE GENERAL CONTRACTOR ARRANGE A PRE-CONSTRUCTION CONFERENCE FOR REVIEW AND CLARIFICATION PRIOR TO STARTING ANY WORK.
4. DEMOLITION OF EXISTING WORK SHALL BE DONE IN SUCH A MANNER THAT WILL NOT INTERFERE WITH NORMAL OPERATION OF THE AREA AND CARE SHALL BE TAKEN NOT TO DAMAGE EXISTING STRUCTURES, FIXTURES, ETC. CONTRACTOR SHALL REMOVE ALL CONSTRUCTION WASTE FROM THE SITE DAILY.
5. GENERAL CONTRACTOR TO VISIT THE SITE PRIOR TO BID. VERIFY IF ANY ADDITIONAL DEMOLITION IS REQUIRED TO ACCOMMODATE NEW GENERAL CONTRACTOR TO INCLUDE ANY ADDITIONAL DEMOLITION NOT SHOWN ON DRAWINGS IN THEIR BID. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO STARTING ANY DEMOLITION. REMOVE ALL EXISTING UTILITIES TO THEIR ENTRY POINT IN THE BUILDING.
7. ALL EQUIPMENT, REFRIGERATED CASES, ETC. BEING REMOVED OR RELOCATED, SHALL HAVE ALL THE UTILITIES DISCONNECTED BY THE SUB-CONTRACTORS.
8. ALL EXTERIOR OPENINGS, ROOMS, CHASE, AND ATTIC SHALL BE "RODENT PROOF". ALL WALL PENETRATIONS SHALL BE SEALED AIRTIGHT AND "RODENT PROOF".
9. GENERAL CONTRACTOR SHALL REPAIR EXISTING SURFACES DAMAGED BY REMOVAL OF EXISTING EQUIPMENT AND MATERIALS. PREP FOR INFILL OR REPAIR.
10. CONTRACTOR TO REPAIR, PATCH OR REPLACE EXISTING GYP. BD. OR PLASTER WALLS AND CEILINGS AS REQUIRED FOR BUILDING.
11. ANY DEMO'D WINDOW SILLS TO BE REPLACED WITH SOLID SURFACE WINDOW SILL MATERIAL.
12. THE REMOVAL OF EXISTING PLUMBING FIXTURES AND DEMOLITION WORK OF EXISTING CONCRETE SLAB TO PROVIDE PLUMBING FOR NEW FIXTURES. IF EXISTING UTILITIES ARE EXPOSED, INCLUDE IN BASE BID REMOVAL OF AND REVISING EXISTING UTILITIES, AND LEADER PIPES THAT EXIST IN THE AREA OF CONSTRUCTION AND REQUIRE TO BE RELOCATED OR MODIFIED.
13. REMOVE AND SCARIFY EXISTING SOILS IN AREA OF CONSTRUCTION. STOCKPILE EXISTING TOP SOIL FOR REUSE AT LOCATION APPROVED BY ARCHITECT. REMOVE OTHER EXCAVATED SOILS AND RELOCATE ON SITE. LOCATION APPROVED BY ARCHITECT AND SPREAD OUT EVENLY RESPECTING EXISTING SURFACE PATTERNS. DO NOT REUSE EXISTING EXCAVATED SOILS UNDER THE BUILDING FOR FILL UNLESS THEY MEET THE REQUIREMENTS FOR STRUCTURAL FILL. SOILS MAY BE REUSED FOR LANDSCAPE AREAS, BUT NOT BEDDING OF PIPES. REFER TO THE PROJECT SOILS REPORT FOR ADDITIONAL INFORMATION OF SOILS TO EXPECT. BID PROJECT ACCORDINGLY.
14. DO NOT REMOVE OR MODIFY ANY FIRE PROTECTION SYSTEM WITHOUT PRIOR APPROVAL FROM THE BUILDING OFFICIAL. ANY MODIFICATIONS MUST COMPLY WITH CURRENT BUILDING AND FIRE CODES, INTERNATIONAL CODE COUNCIL (ICC), AND NFPA. ALL MODIFICATIONS MUST BE DESIGNED AND INSTALLED BY QUALIFIED FIRE PROTECTION CONTRACTORS AND ENGINEERS IN ACCORDANCE WITH RELEVANT NFPA 13 STANDARDS FOR SPRINKLERS.
15. WHERE WALLS TO BE REMOVED, RELOCATE EXISTING THERMOSTAT TO NEW ADJACENT WALL LOCATION.
16. EXISTING DOOR CONTACTS, CARD READERS, AND OTHER ACCESS CONTROLS TO REMAIN. ALL ASSOCIATED CABLING SHALL REMAIN AND/OR BE RE-FED AS NECESSARY TO MAINTAIN CURRENT SYSTEM FUNCTIONALITY.
17. ALL DEVICES, CONDUIT, AND CIRCUIT LOCATED IN AREAS OF DEMOLITION SHALL BE REMOVED BACK TO THE NEAREST J-BOX OUTSIDE AREA OF RENOVATION, OR BACK TO ORIGINATING ELECTRIC PANEL. ANY EXISTING CIRCUITS REQUIRING PARTIAL DEMOLITION SHALL BE MODIFIED AND/OR EXTENDED AS REQUIRED TO ENSURE CONTINUED FUNCTIONALITY OF EXISTING DEVICES TO REMAIN.

415 Broadway

Oklahoma City

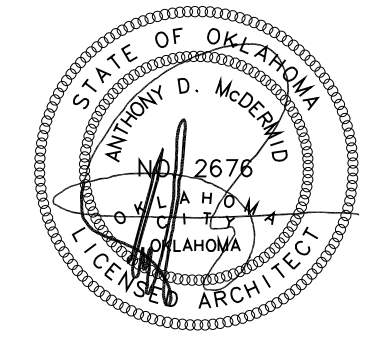
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ARCHITECT'S  
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01/15/2026

PROJECT

CITY OF MOORE  
SIGN SHOP/BREAKROOM

632 VERMEER DRIVE  
MOORE, OKLAHOMA 73160



ISSUES  
REVISIONS

ISSUE FOR BIDDING  
01/15/2026

SHEET  
TITLE

SIGN SHOP  
DEMOLITION  
FLOOR PLAN

SHEET  
NUMBER

AD210

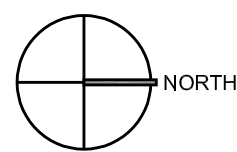
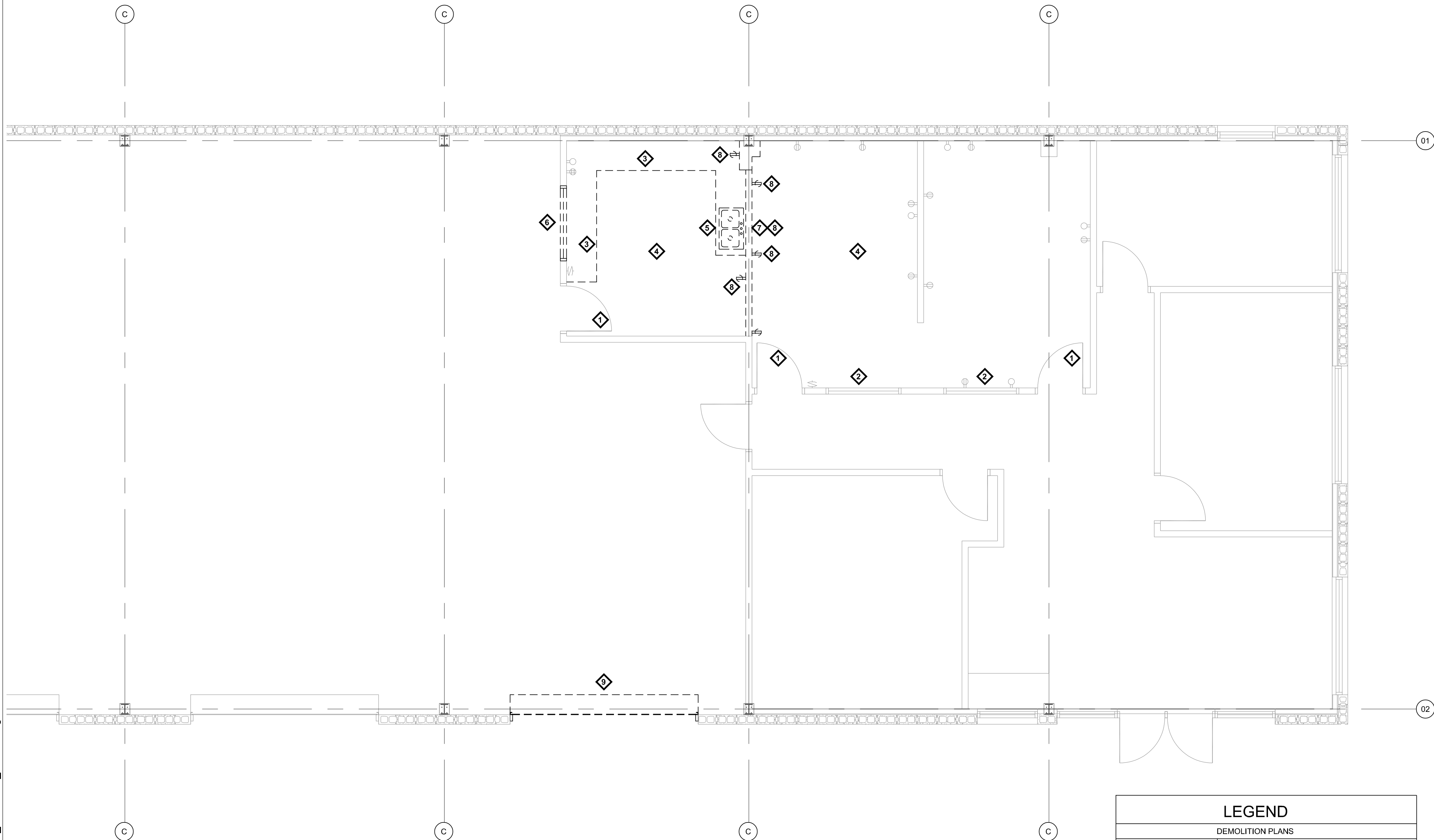
PROJECT  
NUMBER

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01

# STREETS BREAKROOM DEMOLITION FLOOR PLAN

SCALE: 1/4" = 1'-0"

LEGEND	
DEMOLITION PLANS	
	EXISTING PARTITIONS TO BE REMOVED
	EXISTING DOOR, FRAME & HARDWARE TO BE REMOVED
	EXISTING CEILING GRID TO BE REMOVED
	EXISTING PARTITION WALL TO REMAIN

## DEMOLITION KEYNOTES:

- EXISTING DOOR & HARDWARE TO REMAIN
- EXISTING INTERIOR WINDOW TO REMAIN
- REMOVE EXISTING MILLWORK
- REMOVE EXISTING FLOORING, PREP SURFACE FOR INSTALLATION OF NEW FLOORING MATERIAL, RE: FINISH SCHEDULE
- REMOVE EXISTING PLUMBING FIXTURES, PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING FIXTURES, TRIM, PIPING, VALVES, ETC...IN AREAS TO BE DEMOLISHED
- REMOVE EXISTING WINDOW AND PREP FOR NEW HM WINDOW
- ALL EXISTING PIPING ABOVE GRADE NOT REMAINING IN SERVICE AFTER NEW CONSTRUCTION SHALL BE REMOVED
- ALL EXISTING SANITARY, DOMESTIC WATER, AND ELECTRICAL CONDUIT THAT ARE LOCATED IN EXISTING WALLS TO BE DEMOLISHED AND REMAINING IN SERVICE AFTER CONSTRUCTION SHALL BE LOCATED TO NEW WALLS OR SECURED TO THE EXISTING PEMB STRUCTURE AS NOTED
- ADD *ALTERNATE 02* - PROVIDE LUMP SUM COST FOR (1) ONE OVERHEAD COILING DOOR - REMOVE EXISTING OVERHEAD COILING DOOR AND INSTALL A NEW MANUAL INSULATED COILING DOOR, RE: SPECIFICATIONS

## GENERAL DEMOLITION NOTES:

- ALTERATIONS TO EXISTING WORK BEING OF SUCH NATURE THAT ALL FACETS OF THE WORK ARE IMPOSSIBLE TO DETAIL AND SPECIFY. IT IS THEREFORE THE GENERAL CONTRACTORS AND DEMOLITION CONTRACTORS RESPONSIBILITY TO VISIT THE SITE, CAREFULLY EXAMINE THE BUILDING AND GROUNDS, AND COMPLETELY FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND RELATE SUCH CONDITIONS TO THE SCOPE OF THE PROPOSED NEW WORK.
- THE GENERAL CONTRACTOR (G.C.) IS RESPONSIBLE FOR REMOVAL OF ALL STRUCTURE, FOOTINGS, WALLS, FLOOR SLABS, FIXTURES, ELECTRICAL, PLUMBING, MECHANICAL, AND REFRIGERANT, WHETHER SHOWN OR NOT SHOWN ON THE DEMOLITION DRAWINGS IN THIS SET, AS REQUIRED TO PERFORM ALL NEW WORK INDICATED ON DRAWINGS UNLESS SPECIFICALLY INDICATED AS RESPONSIBILITY OF OWNER OR OWNER HIRED CONTRACTOR. THE G.C. SHOULD VISIT THE PROJECT SITE PRIOR TO BIDDING AND INSPECT EXISTING CONDITIONS. ONLY ITEMS FOUND BELOW BUILDING SLAB THAT ARE NOT DESCRIBED IN THESE DRAWINGS AND ARE IN CONFLICT WITH THE NEW WORK WILL BE CONSIDERED FOR ADDITIONAL COMPENSATION.
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- WHERE WALLS TO BE REMOVED, RELOCATE EXISTING THERMOSTAT TO NEW ADJACENT WALL LOCATION.
- EXISTING DOOR CONTACTS, CARD READERS, AND OTHER ACCESS CONTROLS TO REMAIN. ALL ASSOCIATED CABLING SHALL REMAIN AND/OR BE RE-FED AS NECESSARY TO MAINTAIN CURRENT SYSTEM FUNCTIONALITY.
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415 Broadway

Oklahoma City

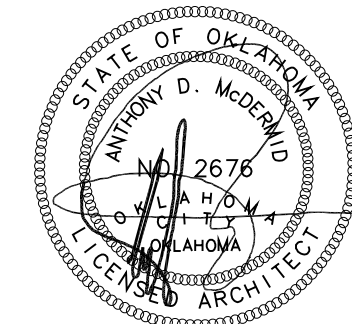
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SEAL



01/15/2026

PROJECT

CITY OF MOORE  
SIGN SHOP/BREAKROOM

632 VERMEER DRIVE  
MOORE, OKLAHOMA 73160



ISSUES  
REVISIONS

ISSUE FOR BIDDING  
01/15/2026

SHEET  
TITLE

STREETS BR. ROOM  
DEMOLITION  
FLOOR PLAN

SHEET  
NUMBER

AD211

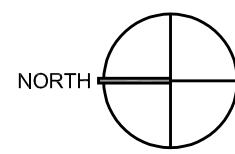
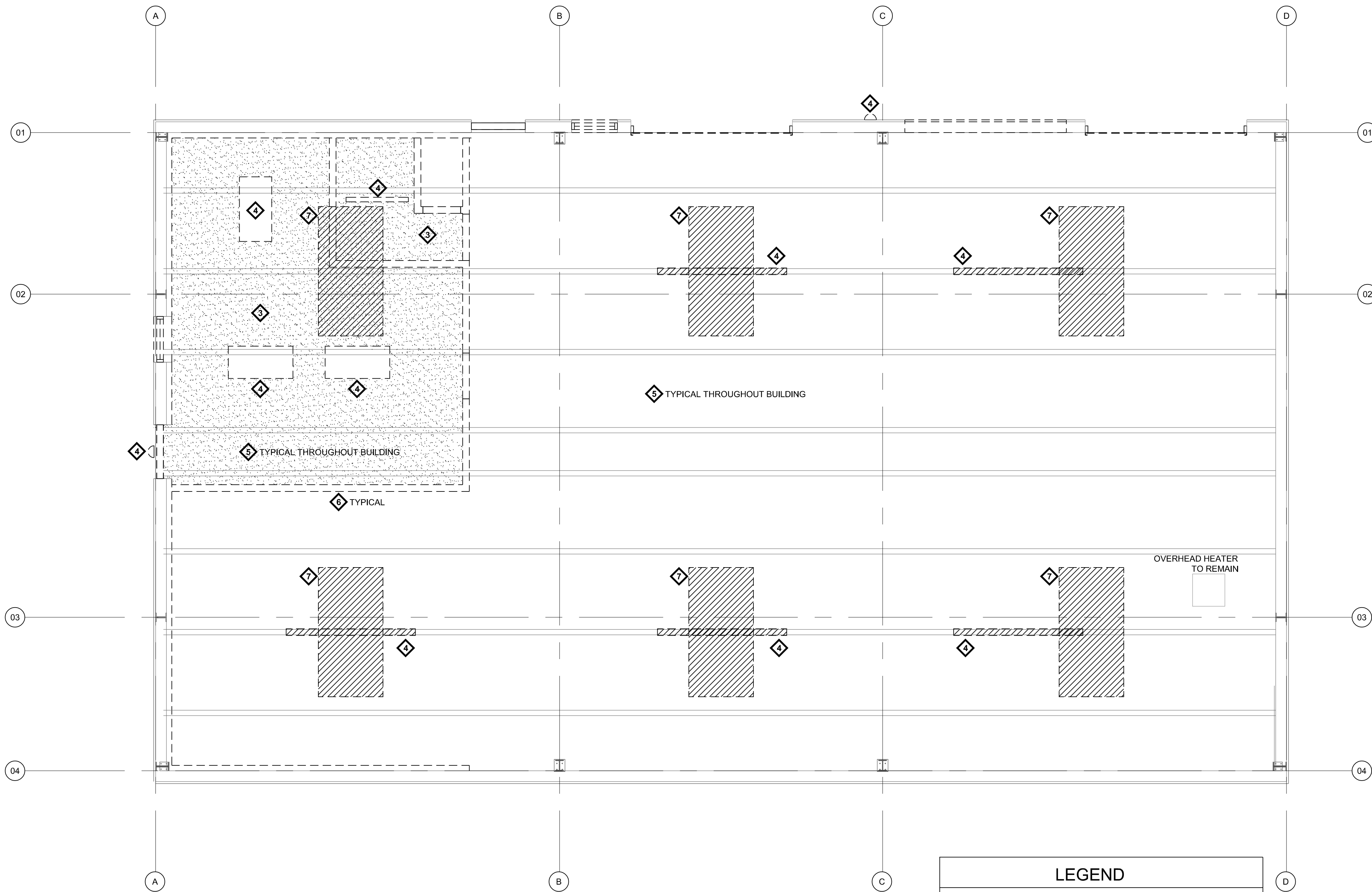
PROJECT  
NUMBER

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01

# SIGN SHOP DEMOLITION CEILING PLAN

SCALE: 1/4" = 1'-0"

LEGEND	
DEMOLITION PLANS	
	EXISTING PARTITIONS TO BE REMOVED
	EXISTING DOOR, FRAME & HARDWARE TO BE REMOVED
	EXISTING CEILING GRID TO BE REMOVED
	EXISTING PARTITION WALL TO REMAIN

## DEMOLITION KEYNOTES:



- REMOVE EXISTING CEILING TILE GRID SYSTEM, TILES, AND ALL CEILING MOUNTED EQUIPMENT
- NO WORK AT CEILING THIS AREA, PROTECT FROM DAMAGE
- REMOVE EXISTING GYP, BD, CEILING
- REMOVE ALL EXISTING LIGHT FIXTURES
- PULL OUT ALL UNUSED WIRING AND CONDUIT BACK TO SOURCE PANEL AND LABEL BREAKER AS SPARE. EXISTING RECEPTACLES, DATA DROPS, ELECTRICAL DEVICES AND ALL ASSOCIATED CIRCUITS TO REMAIN, RE: REFLECTED CEILING PLAN A230
- REMOVE ALL EXISTING FRAMING (STUDS AND CEILING STRUCTURE) ON THE EXISTING BUILDING INTERIOR WALLS
- REMOVE EXISTING SKYLIGHTS AND INSTALL NEW WHITE INSULATION AND TIE NEW METAL ROOFING INTO EXISTING METAL ROOF, CONTRACTOR TO PROVIDE ROOF FLASHING AND SEALANTS TO PROPERLY SEAL THESE OPENINGS FOR NO ROOF LEAKAGE

## GENERAL DEMOLITION NOTES:

- ALTERATIONS TO EXISTING WORK BEING OF SUCH NATURE THAT ALL FACETS OF THE WORK ARE IMPOSSIBLE TO DETAIL AND SPECIFY. IT IS THEREFORE THE GENERAL CONTRACTOR'S AND DEMOLITION CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE, CAREFULLY EXAMINE THE BUILDING AND GROUNDS, AND COMPLETELY FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND RELATE SUCH CONDITIONS TO THE SCOPE OF THE PROPOSED NEW WORK
- THE GENERAL CONTRACTOR (G.C.) IS RESPONSIBLE FOR REMOVAL OF ALL STRUCTURE, FOOTINGS, WALLS, FLOOR SLABS, FIXTURES, ELECTRICAL, PLUMBING, MECHANICAL, AND REFRIGERANT, WHETHER SHOWN OR NOT SHOWN ON THE DEMOLITION DRAWINGS IN THIS SET, AS REQUIRED TO PERFORM ALL NEW WORK INDICATED ON DRAWINGS UNLESS SPECIFICALLY INDICATED AS RESPONSIBILITY OF OWNER OR OWNER HIRED CONTRACTOR. THE G.C. SHOULD VISIT THE PROJECT SITE PRIOR TO BIDDING AND INSPECT EXISTING CONDITIONS. ONLY ITEMS FOUND BELOW BUILDING SLAB THAT ARE NOT DESCRIBED IN THESE DRAWINGS AND ARE IN CONFLICT WITH THE NEW WORK WILL BE CONSIDERED FOR ADDITIONAL COMPENSATION.
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- ALL EQUIPMENT, REFRIGERATED CASES, ETC. BEING REMOVED OR RELOCATED, SHALL HAVE ALL THE UTILITIES DISCONNECTED BY THE SUB-CONTRACTORS.
- ALL EXTERIOR OPENINGS, ROOMS, CHASE, AND ATTIC SHALL BE "RODENT PROOF". ALL WALL PENETRATIONS SHALL BE SEALED AIRTIGHT AND "RODENT PROOF".
- GENERAL CONTRACTOR SHALL REPAIR EXISTING SURFACES DAMAGED BY REMOVAL OF EXISTING EQUIPMENT AND MATERIALS. PREP FOR INFILL OR REPAIR.
- CONTRACTOR TO REPAIR, PATCH OR REPLACE EXISTING GYP. BD. OR PLASTER WALLS AND CEILINGS AS REQUIRED FOR BUILDING.
- ANY DEMOD WINDOW SILLS TO BE REPLACED WITH SOLID SURFACE WINDOW SILL MATERIAL.
- THE REMOVAL OF EXISTING PLUMBING FIXTURES AND DEMOLITION WORK OF EXISTING CONCRETE SLAB TO PROVIDE PLUMBING FOR NEW FIXTURES. IF EXISTING UTILITIES ARE EXPOSED, INCLUDE IN BASE BID REMOVAL OF AND REVISING EXISTING UTILITIES, AND LEADER PIPES THAT EXIST IN THE AREA OF CONSTRUCTION AND REQUIRE TO BE RELOCATED OR MODIFIED.
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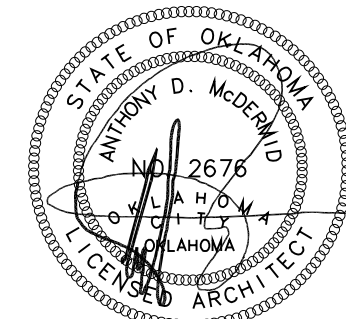
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01/15/2026

PROJECT

CITY OF MOORE  
SIGN SHOP/BREAKROOM

632 VERMEER DRIVE  
MOORE, OKLAHOMA 73160



ISSUES  
REVISIONS

ISSUE FOR BIDDING  
01/15/2026

SHEET  
TITLE

SIGN SHOP  
DEMOLITION  
CEILING PLAN

SHEET  
NUMBER

AD230

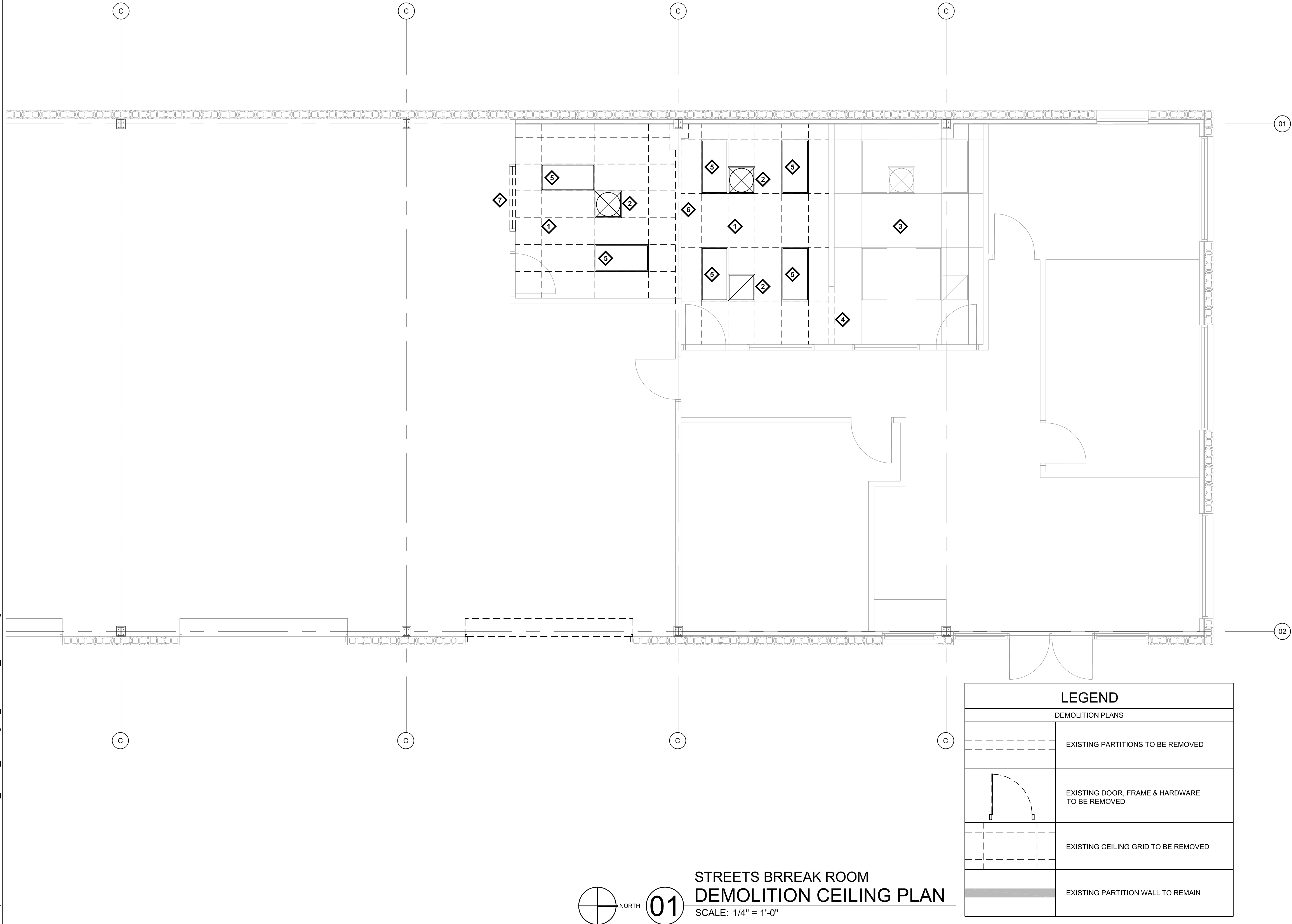
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NUMBER

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- DEMOLITION KEYNOTES:**
1. REMOVE EXISTING CEILING TILE GRID SYSTEM, TILES, AND ALL CEILING MOUNTED EQUIPMENT
  2. REMOVE SUPPLY & RETURN DIFFUSERS, REINSTALL PER NEW CEILING PLAN, RE: A231
  3. NO WORK AT CEILING THIS AREA, PROTECT FROM DAMAGE
  4. EXISTING HEADER TO REMAIN, CONTRACTOR TO INFILL WALL, RE: FLOOR PLAN A211
  5. REMOVE & SAVE EXISTING 2X4 LIGHT FIXTURES, REINSTALL PER NEW CEILING PLAN, RE: A231
  6. REMOVE EXISTING PARTITION WALL
  7. EXISTING WINDOW TO BE REMOVED AND REPLACED, RE: NEW PLAN A211

- GENERAL DEMOLITION NOTES:**
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  11. ANY DEMOD WINDOW SILLS TO BE REPLACED WITH SOLID SURFACE WINDOW SILL MATERIAL.
  12. THE REMOVAL OF EXISTING PLUMBING FIXTURES AND DEMOLITION WORK OF EXISTING CONCRETE SLAB TO PROVIDE PLUMBING FOR NEW FIXTURES. IF EXISTING UTILITIES ARE EXPOSED, INCLUDE IN BASE BID REMOVAL OF AND REVISING EXISTING UTILITIES, AND LEADER PIPES THAT EXIST IN THE AREA OF CONSTRUCTION AND REQUIRE TO BE RELOCATED OR MODIFIED.
  13. REMOVE AND SCARIFY EXISTING SOILS IN AREA OF CONSTRUCTION. STOCKPILE EXISTING TOP SOIL FOR REUSE AT LOCATION APPROVED BY ARCHITECT. REMOVE OTHER EXCAVATED SOILS AND RELOCATE ON SITE. LOCATION APPROVED BY ARCHITECT AND SPREAD OUT EVENLY RESPECTING EXISTING SURFACE PATTERNS. DO NOT REUSE EXISTING EXCAVATED SOILS UNDER THE BUILDING FOR FILL UNLESS THEY MEET THE REQUIREMENTS FOR STRUCTURAL FILL. SOILS MAY BE REUSED FOR LANDSCAPE AREAS, BUT NOT BEDDING OF PIPES. REFER TO THE PROJECT SOILS REPORT FOR ADDITIONAL INFORMATION OF SOILS TO EXPECT. BID PROJECT ACCORDINGLY.
  14. DO NOT REMOVE OR MODIFY ANY FIRE PROTECTION SYSTEM WITHOUT PRIOR APPROVAL FROM THE BUILDING OFFICIAL. ANY MODIFICATIONS MUST COMPLY WITH CURRENT BUILDING AND FIRE CODES, INTERNATIONAL CODE COUNCIL (ICC), AND NFPA. ALL MODIFICATIONS MUST BE DESIGNED AND INSTALLED BY QUALIFIED FIRE PROTECTION CONTRACTORS AND ENGINEERS IN ACCORDANCE WITH RELEVANT NFPA 13 STANDARDS FOR SPRINKLERS.
  15. WHERE WALLS TO BE REMOVED, RELOCATE EXISTING THERMOSTAT TO NEW ADJACENT WALL LOCATION.
  16. EXISTING DOOR CONTACTS, CARD READERS, AND OTHER ACCESS CONTROLS TO REMAIN. ALL ASSOCIATED CABLING SHALL REMAIN AND/OR BE RE-FED AS NECESSARY TO MAINTAIN CURRENT SYSTEM FUNCTIONALITY.
  17. ALL DEVICES, CONDUIT, AND CIRCUIT LOCATED IN AREAS OF DEMOLITION SHALL BE REMOVED BACK TO THE NEAREST J-BOX OUTSIDE AREA OF RENOVATION, OR BACK TO ORIGINATING ELECTRIC PANEL. ANY EXISTING CIRCUITS REQUIRING PARTIAL DEMOLITION SHALL BE MODIFIED AND/OR EXTENDED AS REQUIRED TO ENSURE CONTINUED FUNCTIONALITY OF EXISTING DEVICES TO REMAIN.

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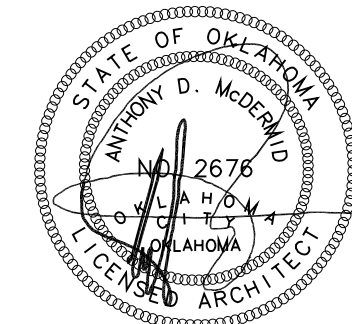
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01/15/2026

PROJECT

**CITY OF MOORE**  
**SIGN SHOP/BREAKROOM**  
632 VERMEER DRIVE  
MOORE, OKLAHOMA 73160



ISSUES  
REVISIONS

ISSUE FOR BIDDING  
01/15/2026

SHEET  
TITLE

**STREETS BR. ROOM**  
**DEMOLITION**  
**CEILING PLAN**

SHEET  
NUMBER

**AD231**

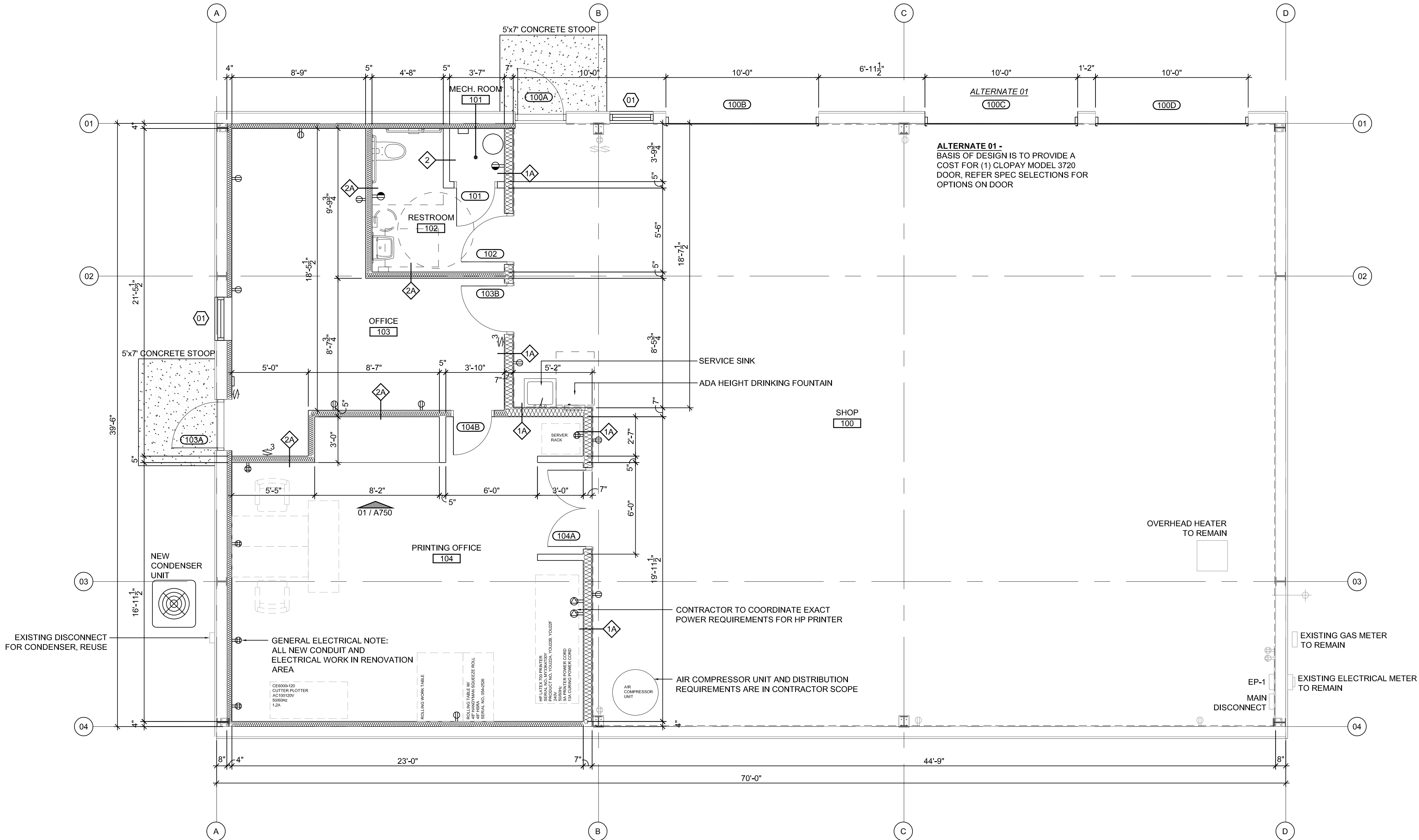
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NUMBER

**2516**

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SIGN SHOP  
DIMENSIONED FLOOR PLAN  
SCALE: 1/4" = 1'-0"

RECEPTACLES

- COUNTERTOP MOUNTED  
(MIN. 4" ABOVE BACKSPASH, COORDINATE WITH BACKSPASH MATERIAL)

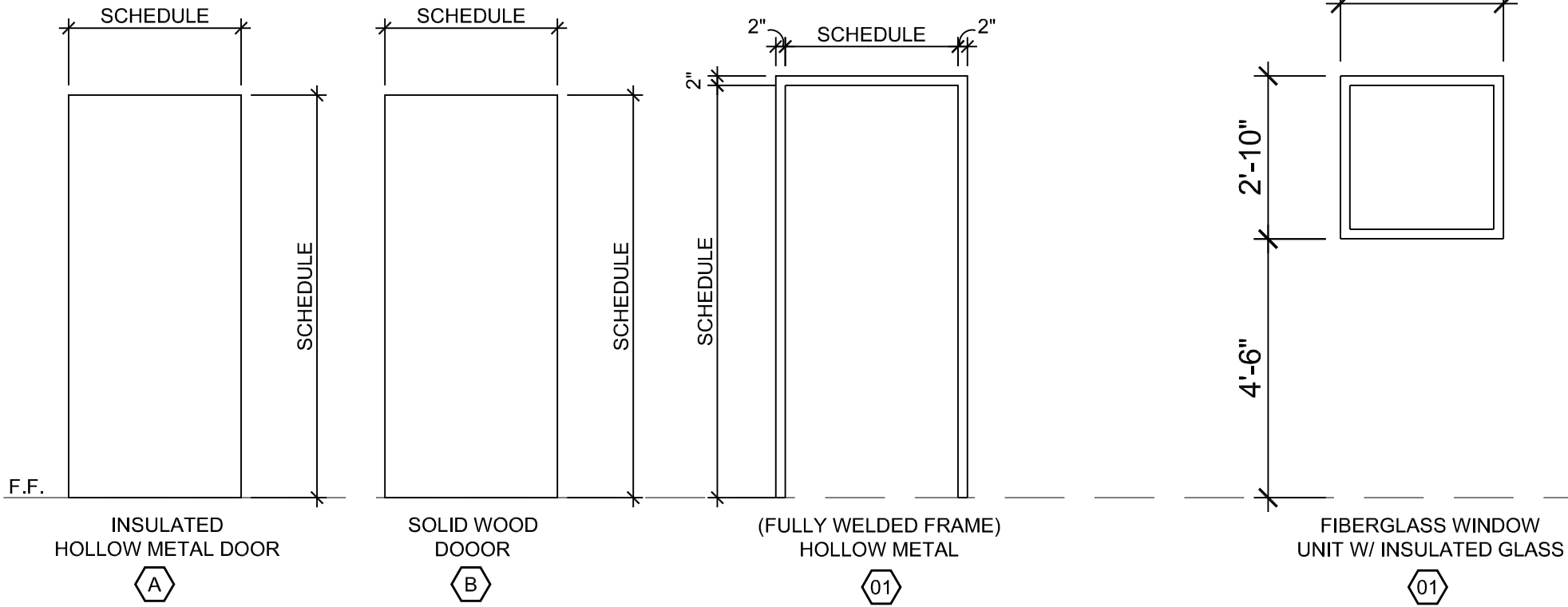
- DUPLEX FLOOR RECEPTACLE OUTLET
- DUPLEX RECEPTACLE OUTLET
- GFCI (GROUND FAULT CIRCUIT INTERRUPTER) OUTLET
- QUADRUPLEX OUTLET
- SPECIALTY AMP OUTLET

GENERAL NOTES:

- ALTERATIONS TO EXISTING WORK BEING OF SUCH NATURE THAT ALL FACETS OF THE WORK ARE IMPOSSIBLE TO DETAIL AND SPECIFY. IT IS THEREFORE THE GENERAL CONTRACTORS AND DEMOLITION CONTRACTORS RESPONSIBILITY TO VISIT THE SITE, CAREFULLY EXAMINE THE BUILDING AND GROUNDS, AND COMPLETELY FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND RELATE SUCH CONDITIONS TO THE SCOPE OF THE PROPOSED NEW WORK.
- THE CONTRACTOR SHALL VERIFY AND EVALUATE ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE PRIOR TO CONSTRUCTION.
- IN ALL ROOMS HAVING FINISH, FURR AROUND ALL MECHANICAL, ELECTRICAL AND STRUCTURAL WORK WHICH PROJECTS BEYOND THE FACE OF THE WALL AND CEILING.
- FLOOR PLAN DIMENSIONS ARE FROM FACE OF EXISTING GYP. BD. TO FACE OF STUD OF NEW, UNLESS OTHERWISE NOTED. DIMENSIONS NOT SHOWN SHALL BE DETERMINED FROM EXISTING FIXED COMPONENTS (I.E. WINDOWS, COLUMNS, EXISTING WALLS TO REMAIN, ETC.).
- CONTRACTOR TO REPAIR EXITING BUILDING WHERE DAMAGED DUE TO NEW CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE SUCH BARRICADE AS NECESSARY FOR PROTECTION OF PEDESTRIANS FROM CONSTRUCTION WORK - TYPICAL.
- SALVAGE AND REUSE ALL EXISTING DOORS AS NOTED.
- ALL EXISTING MATERIAL THAT IS REUSED SHALL BE REPAIRED, REWORKED AND PUT UP IN FIRST CLASS CONDITION PRIOR TO REUSE. ANY EXISTING MILLWORK (INCLUDING DOORS) SHALL BE TOUCHED-UP OR REFINISHED AS NECESSARY FOR A LIKE-NEW APPEARANCE.
- OWNER TO RETAIN ALL MATERIAL AND ITEMS NOT REUSED IN NEW CONSTRUCTION.
- CONTRACTOR TO REMOVE ANY EXISTING NAILS, HOOKS, ETC. PATCH, REPAIR AND PAINT WALLS (TEXTURE TO MATCH EXISTING THROUGHOUT) AS REQUIRED FOR A UNIFORM FINISHED WALL SURFACE TO MATCH ADJACENT WALLS AND BRING PARTITIONS UP TO A FIRST CLASS CONDITION. PROPER TRANSITIONS SHALL BE MADE WHERE NEW DOORS OCCUR (AT FLOORS, WALLS, AND CEILINGS) UNLESS NOTED OTHERWISE.
- ALL NEW INTERIOR WALLS, GYP. BD. CEILING, AND DOOR FRAMES TO RECEIVE NEW PAINT, RE: FINISH SCHEDULE.
- NEW FLOORING, RE: FINISH SCHEDULE.
- ALL NEW DOORS ARE TO RECEIVE NEW HARDWARE TO MEET ADA REQUIREMENTS. ALL LATCH AND LOCK SETS SHALL BE LEVER TYPE AND ALL DOOR OPENINGS SHALL HAVE A 32" MIN. CLEAR BETWEEN DOOR STOPS.
- GYP. BD. WALL EXPANSION JOINTS SHOULD BE AT 20' MAX SPACING.
- PRIOR TO PURCHASING ANY MATERIALS OR STARTING ANY WORK, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DUCTWORK SIZES AND LOCATIONS, EQUIPMENT, ETC. SHOWN ON DRAWINGS OR AFFECTING THIS WORK AND SHALL REPORT ANY DEVIATIONS TO THE ARCHITECT. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL MECHANICAL EQUIPMENT, DUCTWORK, ETC TO FIT WITHIN THE SPACE ALLOWED BY EXISTING CONDITIONS.
- CONTRACTOR TO REPAIR ANY DAMAGED TO EXISTING PEMB ROLLED INSULATION DURING CONSTRUCTION.
- EXISTING DOOR CONTACTS, CARD READERS, AND OTHER ACCESS CONTROLS TO REMAIN. ALL ASSOCIATED CABLING SHALL REMAIN AND/OR BE RE-FED AS NECESSARY TO MAINTAIN CURRENT SYSTEM FUNCTIONALITY.
- ALL DEVICES, CONDUIT, AND CIRCUIT LOCATED IN AREAS OF DEMOLITION SHALL BE REMOVED BACK TO THE NEAREST J-BOX OUTSIDE AREA OF RENOVATION, OR BACK TO ORIGINATING ELECTRIC PANEL. ANY EXISTING CIRCUITS REQUIRING PARTIAL DEMOLITION SHALL BE MODIFIED AND/OR EXTENDED AS REQUIRED TO ENSURE CONTINUED FUNCTIONALITY OF EXISTING DEVICES TO REMAIN.

DOOR SCHEDULE

DR. NO.	ROOM NAME	DOOR SIZE	DOOR TYPE	FRAME TYPE	HARDWARE	DETAILS			REMARKS
						HEAD	JAMB	SILL	
100A	SHOP	3'-0" X 7'-0"	A	01	1.0				EXTERIOR GRADE LOCKSET AND DEADBOLT
100B	SHOP - OHD	10'-0" X 10'-0"	-	-	-				REPLACE OHD AND PROVIDE NEW OPENER
100C	ALTERNATE 01 - SHOP OHD	10'-0" X 10'-0"	-	-	-				ALTERNATE 01 - CUT NEW HOLE, PROVIDE NEW OHD
100D	SHOP OHD	10'-0" X 10'-0"	-	-	-				REPLACE OHD AND PROVIDE NEW OPENER
101	MECH. ROOM	2'-6" X 7'-0"	B	01	6.0				PASSAGE SET
102	RESTROOM	3'-0" X 7'-0"	B	01	7.0				RESTROOM LOCKSET, THRESHOLD & PERIMETER SEAL
103A	OFFICE	3'-0" X 7'-0"	B	01	2.0				EXTERIOR GRADE LOCKSET AND DEADBOLT
103B	OFFICE	3'-0" X 7'-0"	B	01	5.0				OFFICE LOCKSET, THRESHOLD & PERIMETER SEAL
104A	PRINTING OFFICE	3'-0" X 7'-0"	B	01	3.0				OFFICE LOCKSET, THRESHOLD & PERIMETER SEAL
104B	PRINTING OFFICE	3'-0" X 7'-0"	B	01	4.0				STOREROOM LOCKSET



02 DOOR TYPE  
SCALE: 3/8" = 1'-0"

03 FRAME TYPE  
SCALE: 3/8" = 1'-0"

04 WINDOW TYPE  
SCALE: 3/8" = 1'-0"

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MOORE, OKLAHOMA 73160



ISSUES  
REVISIONS

ISSUE FOR BIDDING  
01/15/2026

SHEET  
TITLE

SIGN SHOP  
DIMENSIONED  
FLOOR PLAN

SHEET  
NUMBER

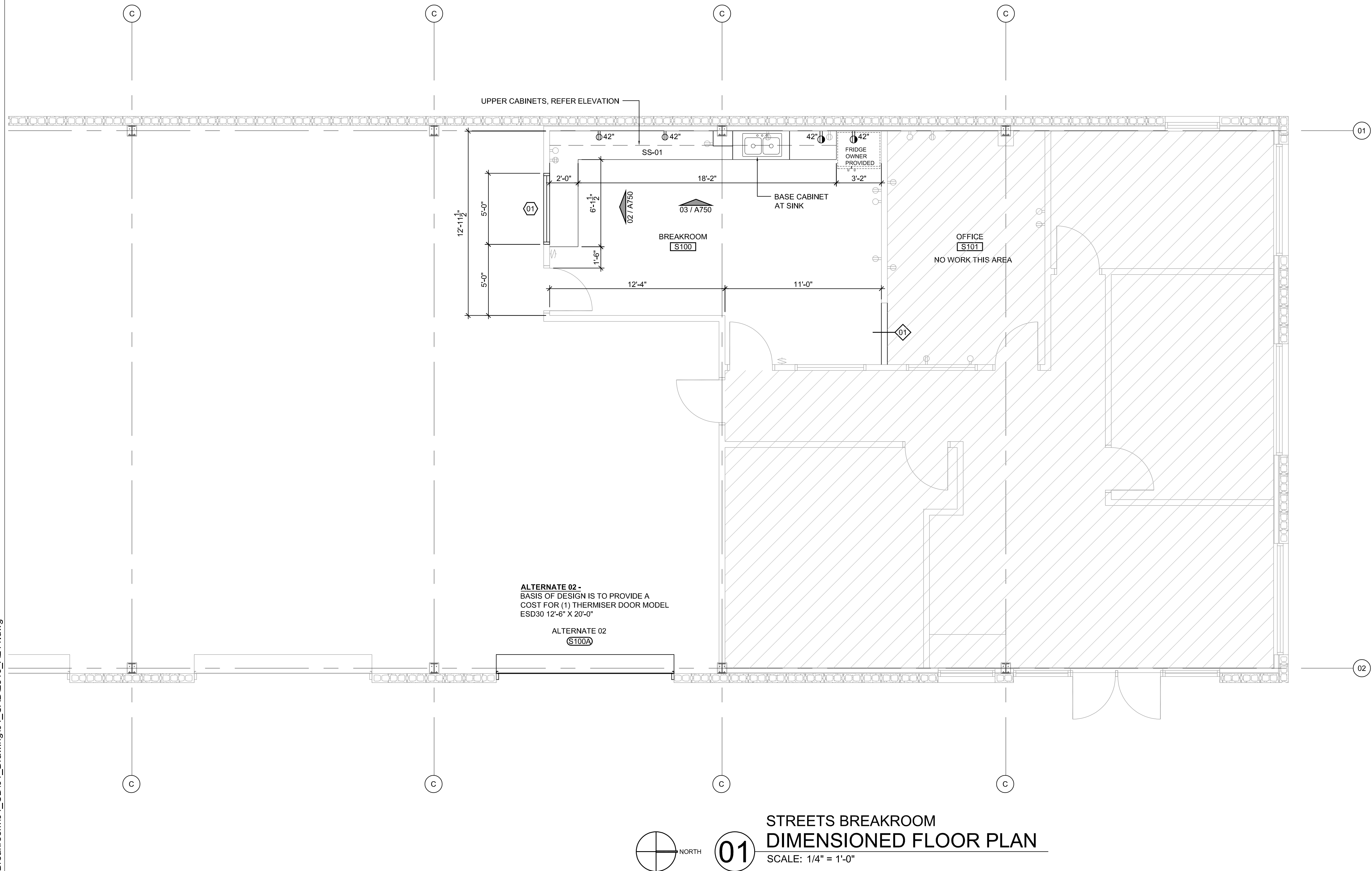
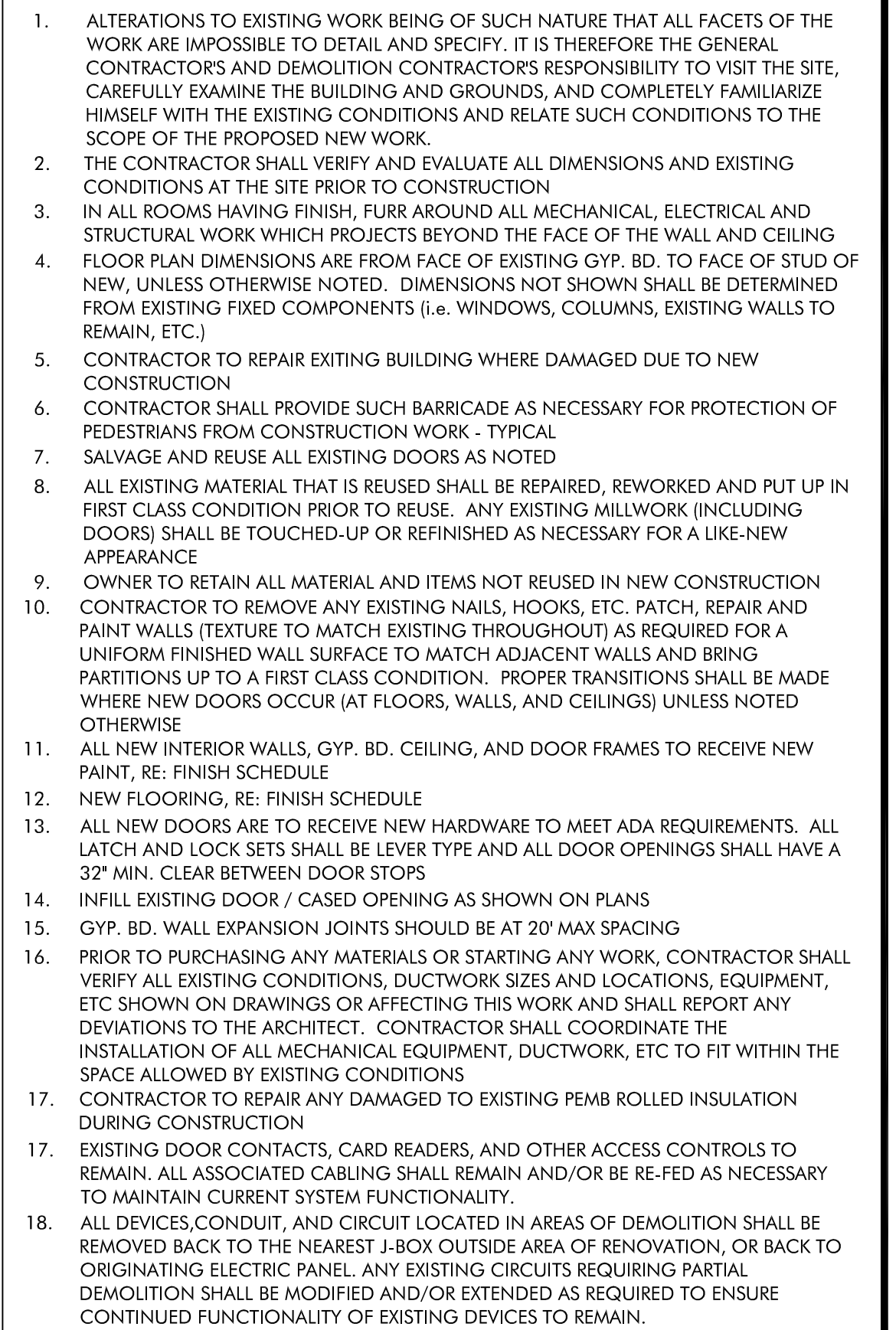
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PROJECT  
NUMBER

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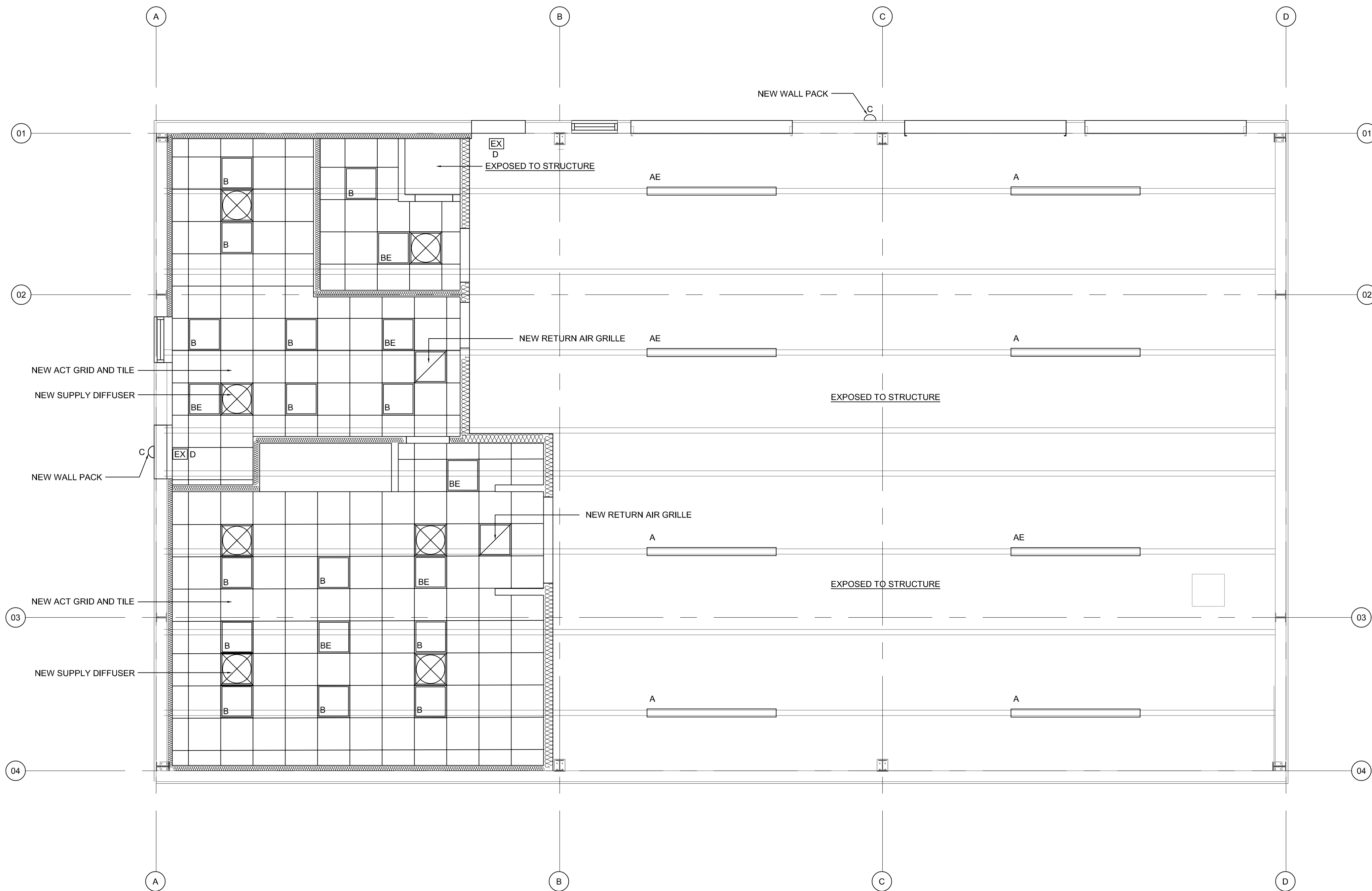
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NORTH  
**01** SIGN SHOP  
REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

LIGHT FIXTURE SCHEDULE				
FIXTURE	DESCRIPTION	MANUFACTURER	SERIES	REMARKS
A	LINEAR FIXTURE	COLUMBIA	LXEP8-40XX-DCA-EU	8' LONG FIXTURE MOUNTED TO PEMB STRUCTURE
B	2X2 PANEL	COLUMBIA	CBT24-A-LSCS-EDD	2X2 FLAT PANEL FIXTURE FOR OFFICE AREA AT SIGN SHOP
C	WALL PACK	COLUMBIA	PVL3-180L-60-4K7-U-BLT	OUTDOOR WALL PACKS AT SIGN SHOP
D	EXIT LIGHT	DUAL LITE	LEWSRXNE	EDGE LIT EXIT SIGNS AT SIGN SHOP
E	EXISTING 2X4	N/A	N/A	RELOCATE EXISTING FIXTURES IN STREETS BREAKROOM

NOTE:  
1. FIXTURES AE, BE, AND EE ARE ON EMERGENCY BATTERY BACKUP  
2. ALL LIGHTS TO BE LED, TYP.  
3. ANYTHING LABELED "X" OR "XX" IN THE FIXTURE SERIES, MEANS THE DELIVERED LUMENS STILL NEEDS TO BE DETERMINED

ELECTRICAL LEGEND

RECEPTACLES  
- COUNTERTOP MOUNTED  
(MIN. 4" ABOVE BACKSPASH, COORDINATE  
WITH BACKSPASH MATERIAL)

- DUPLEX FLOOR RECEPTACLE OUTLET
- DUPLEX RECEPTACLE OUTLET
- GFCI (GROUND FAULT CIRCUIT INTERRUPTER) OUTLET
- QUADRUPLEX OUTLET
- SPECIALTY AMP OUTLET

ELECTRICAL LEGEND

- SURFACE MOUNTED LINEAR LIGHTING
- S.D. SMOKE DETECTOR
- LIGHT FIXTURE (CEILING MOUNTED)
- LIGHT FIXTURE (SUSPENDED)
- RECESSED LIGHTING
- DIRECTIONAL RECESSED LIGHTING
- LIGHT FIXTURE (WALL MOUNTED)
- WALL SCONCE
- EXHAUST FAN
- UNDERCOUNTER LIGHTING
- FLOOD/SPOT LIGHTS
- GARAGE DOOR BUTTONS
- CEILING FAN

SWITCHES

- SINGLE WALL SWITCH
- DIMMER SWITCH
- 3-WAY WALL SWITCH

GENERAL NOTES

- ELECTRICAL SYSTEMS TO BE INSTALLED BY A LICENSED CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE CODES
- ALL ELECTRICAL FIXTURES TO BE LED, TYP.
- CONTRACTOR TO COORDINATE W/ OWNER ON REQUIRED NATURAL GAS APPLIANCES AND EQUIPMENT
- CONTRACTOR TO COORDINATE W/ OWNER ON REQUIRED OUTLETS ON THE COUNTERS IN THE KITCHEN
- CONTRACTOR TO COORDINATE W/ MECHANICAL CONTRACTOR ON REQUIRED POWER TO ALL HVAC UNITS - TYP.
- CONTRACTOR TO COORDINATE W/ EQUIPMENT INSTALLERS ON REQUIRED OUTLETS IN MECHANICAL ROOM
- ALL EXTERIOR OUTLETS AND FIXTURES TO BE EXTERIOR GRADE, TYP.

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ISSUES  
REVISIONS

ISSUE FOR BIDDING  
01/15/2026

SHEET  
TITLE

SIGN SHOP  
REFLECTED  
CEILING PLAN

SHEET  
NUMBER

A230

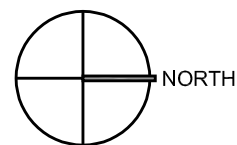
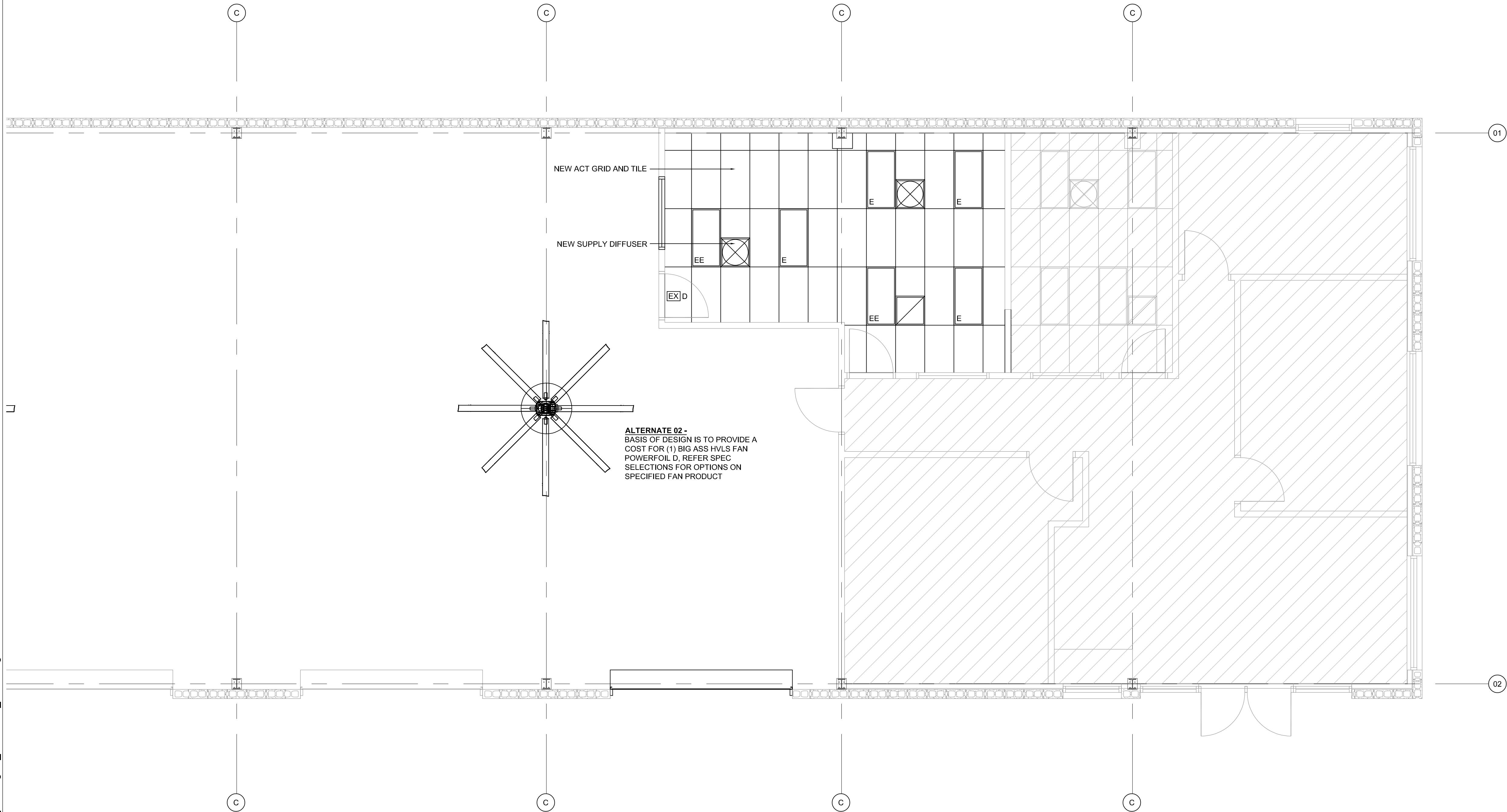
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01

# STREETS BR BREAK ROOM REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

LIGHT FIXTURE SCHEDULE				
FIXTURE	DESCRIPTION	MANUFACTURER	SERIES	REMARKS
A	LINEAR FIXTURE	COLUMBIA	LXEP8-40XX-DCA-EU	8' LONG FIXTURE MOUNTED TO PEMB STRUCTURE
B	2X2 PANEL	COLUMBIA	CBT24-A--LSCS-EDD	2X2 FLAT PANEL FIXTURE FOR OFFICE AREA AT SIGN SHOP
C	WALL PACK	COLUMBIA	PVL3-180L-60-4K7-U-BLT	OUTDOOR WALL PACKS AT SIGN SHOP
D	EXIT LIGHT	DUAL LITE	LEWSRXNE	EDGE LIT EXIT SIGNS AT SIGN SHOP
E	EXISTING 2X4	N/A	N/A	RELOCATE EXISTING FIXTURES IN STREETS BREAKROOM

NOTE:  
1. FIXTURES AE, BE, AND EE ARE ON EMERGENCY BATTERY BACKUP  
2. ALL LIGHTS TO BE LED, TYP.  
3. ANYTHING LABELED "X" OR "XX" IN THE FIXTURE SERIES, MEANS THE DELIVERED LUMENS STILL NEEDS TO BE DETERMINED

ELECTRICAL LEGEND	
<b>RECEPTACLES</b>	
- COUNTERTOP MOUNTED (MIN. 4" ABOVE BACKSPLASH, COORDINATE WITH BACKSPLASH MATERIAL	
	DUPLEX FLOOR RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	GFCI (GROUND FAULT CIRCUIT INTERRUPTER) OUTLET
	QUADRUPLEX OUTLET
	SPECIALTY AMP OUTLET

ELECTRICAL LEGEND	
	SURFACE MOUNTED LINEAR LIGHTING
	S.M.O. SMOKE DETECTOR
	LIGHT FIXTURE (CEILING MOUNTED)
	LIGHT FIXTURE (SUSPENDED)
	RECESSED LIGHTING
	DIRECTIONAL RECESSED LIGHTING
	LIGHT FIXTURE (WALL MOUNTED)
	WALL SCONCE
	EXHAUST FAN
	UNDERCOUNTER LIGHTING
	FLOOD/SPOT LIGHTS
	GARAGE DOOR BUTTONS
	CEILING FAN
<b>SWITCHES</b>	
	SINGLE WALL SWITCH
	DIMMER SWITCH
	3-WAY WALL SWITCH

GENERAL NOTES	
• ELECTRICAL SYSTEMS TO BE INSTALLED BY A LICENSED CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE CODES	
• ALL ELECTRICAL FIXTURES TO BE LED, TYP.	
• CONTRACTOR TO COORDINATE W/ OWNER ON REQUIRED NATURAL GAS APPLIANCES AND EQUIPMENT	
• CONTRACTOR TO COORDINATE W/ OWNER ON REQUIRED OUTLETS ON THE COUNTERS IN THE KITCHEN	
• CONTRACTOR TO COORDINATE W/ MECHANICAL CONTRACTOR ON REQUIRED POWER TO ALL HVAC UNITS - TYP.	
• CONTRACTOR TO COORDINATE W/ EQUIPMENT INSTALLERS ON REQUIRED OUTLETS IN MECHANICAL ROOM	
• ALL EXTERIOR OUTLETS AND FIXTURES TO BE EXTERIOR GRADE, TYP.	

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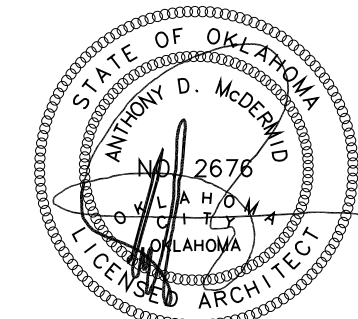
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STREETS BR. ROOM  
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CEILING PLAN

SHEET  
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A231

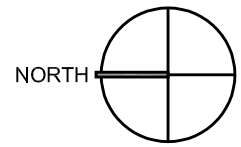
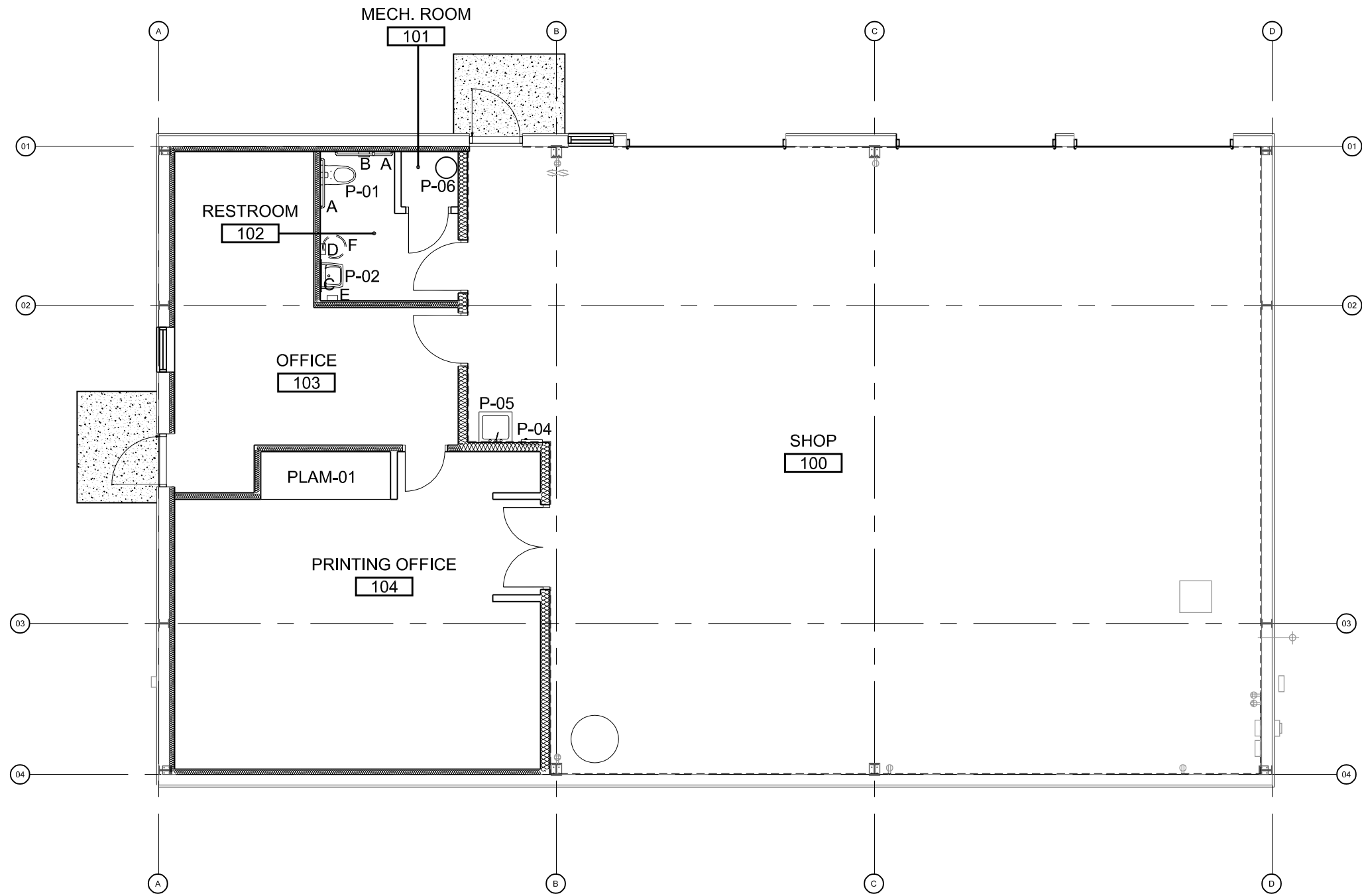
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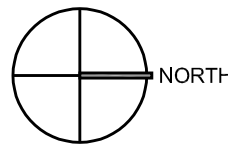
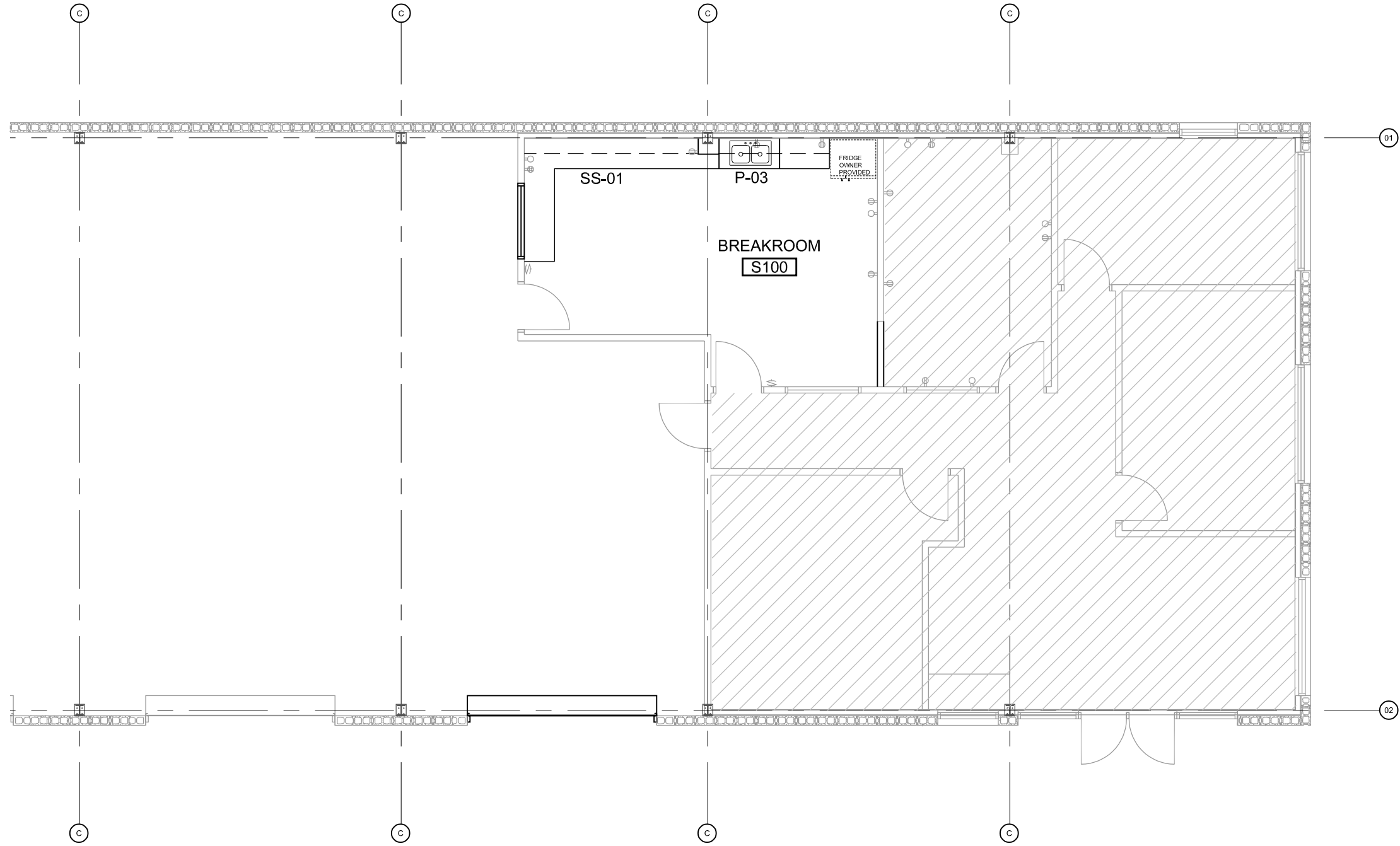


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01

SIGN SHOP  
FLOOR PLAN  
SCALE: 1/8" = 1'-0"



02

STREETS BREAKROOM  
FLOOR PLAN  
SCALE: 1/8" = 1'-0"

### MATERIAL/COLOR LEGEND

FLOOR FINISH				
MARK	PRODUCT	MANUFACTURER/ SUPPLIER	COLOR/MODEL #	NOTES
SC-01	SEALED CONCRETE	W.R. MEADOWS	N/A	LIQUI-HARD ULTRA
PC-01	POLISHED CONCRETE	W.R. MEADOWS	N/A	GRIND AND POLISH TO MATCH EXISTING OFFICE FLOORING - APPLY LIQUI-HARD ULTRA

BASE AND TRIM FINISH				
MARK	PRODUCT	MANUFACTURER/ SUPPLIER	COLOR/MODEL #	NOTES
RB-01	RESILIENT BASE	ROPPE	PINNACLE RUBBER BASE, STANDARD TOE, 4"	BLACK AT SIGN SHOP / MATCH EXISTING AT STREETS BREAKROOM

WALL FINISH				
MARK	PRODUCT	MANUFACTURER/ SUPPLIER	COLOR/MODEL #	NOTES
PT-01	PAINT	SHERWIN WILLIAMS	DOVETAIL SW7018	HOLLOW METAL DOOR FRAME COLOR (INTERIOR AND EXTERIOR SIDE) / SIGN SHOP
PT-02	PAINT	SHERWIN WILLIAMS	DORIAN GRAY SW7017	HOLLOW METAL DOORS (INTERIOR AND EXTERIOR SIDE) / SIGN SHOP
PT-03	PAINT	SHERWIN WILLIAMS	REPOSE GRAY SW7015	INTERIOR GYP. BD. WALLS & SHOP WALLS / SIGN SHOP

CEILING FINISH				
ACT-01	ACOUSTICAL CEILING TILE	ARMSTRONG CEILING	ULTIMA TEGULAR, WHITE 24"X24"	1/8" SUSPENDED GRID

MILLWORK FINISH				
PLAM-01	HIGH PRESSURE PLASTIC LAMINATE	FORMICA	MILLENNIUM OAK, OILED WOOD TEXTURE	GRAIN TO RUN VERTICALLY / STREETS BREAKROOM
SS-01	SOLID SURFACE	FORMICA	BLANCO TERRAZO	COUNTERTOP & BACKSPLASH / STREETS BREAKROOM

### ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR	BASE	WALL				CEILING	REMARKS
				NORTH	EAST	SOUTH	WEST		
100	SIGN SHOP - SHOP	SC-01	N/A	PT-04 ON GYP. BD.	PT-04 ON PLYWOOD	PT-04 ON PLYWOOD	PT-04 ON PLYWOOD	OPEN TO STRUCTURE	-
101	SIGN SHOP - MECH. ROOM	SC-01	N/A	PT-04	PT-04	PT-04	PT-04	OPEN TO STRUCTURE	-
102	SIGN SHOP - RESTROOM	SC-01	RB-01	PT-04	PT-04	PT-04	PT-04	ACT	-
103	SIGN SHOP - OFFICE	SC-01	RB-01	PT-04	PT-04	PT-04	PT-04	ACT	-
104	SIGN SHOP - PRINTING OFFICE	SC-01	RB-01	PT-04	PT-04	PT-04	PT-04	ACT	-
S100	STREETS - BREAKROOM	PC-01	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	-

### RESTROOM ACCESSORY LEGEND

A	18", 36", & 42" GRAB BARS AS REQUIRED BY CODE, BRADLEY 832
B	TOILET PAPER DISPENSER, BRADLEY 5426-11
C	24" X 36" MIRROR, BRADLEY 747-024360
D	PAPER TOWEL DISPENSER, BRADLEY 2494
E	SOAP DISPENSER, BRADLEY 6A01
F	OWNER PROVIDED TRASH CAN

### PLUMBING FIXTURE LEGEND

P-01	<b>WATER CLOSET</b> - SLOAN ELONGATED FLOOR-MOUNTED, ST-2009 / <b>ELECTRIC FLUSH VALVE</b> SLOAN G2 8111 / TOILET SEAT COVER (WHITE)
P-02	<b>LAVATORY</b> - SLOAN WALL MOUNTED LAV SS-3003 / <b>FAUCET</b> - SLOAN SENSOR FAUCET, SF-2350 / LAVATORY GRID DRAIN & P-TRAP / COMMERCIAL GRADE HEAVY DUTY STOPS / TRAP COVERS / ZURN CONCEALED ARM CARRIER SYSTEM, Z1231
P-03	<b>SINK</b> - DOUBLE BOWL DROP IN ADA SINK W/ DRAIN ELKAY LRAD331965 / P-TRAP / <b>FAUCET</b> - SINGLE HANDLE KITCHEN FAUCET K-30613 / COMMERCIAL GRADE HEAVY DUTY STOPS
P-04	<b>DRINKING FOUNTAIN</b> - WILLOUGHBY INDUSTRIES WBF-1RFM, STAINLESS STEEL RECESSED BOTTLE FILLER
P-05	<b>LAVATORY</b> - WILLOUGHBY INDUSTRIES CSS-2419, WALL MOUNTED 14 GA 304 STAINLESS STEEL ADA COMPLIANT <b>FAUCET</b> - SERVICE SINK FAUCET T&S B-0665-BSTR
P-06	NEW HOT WATER TANK (ELECTRIC)

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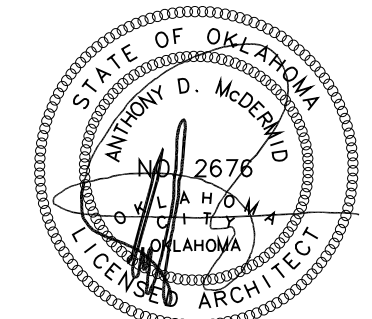
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SHEET  
TITLE

ROOM FINISH  
SCHEDULE  
& MATERIALS

SHEET  
NUMBER

A710

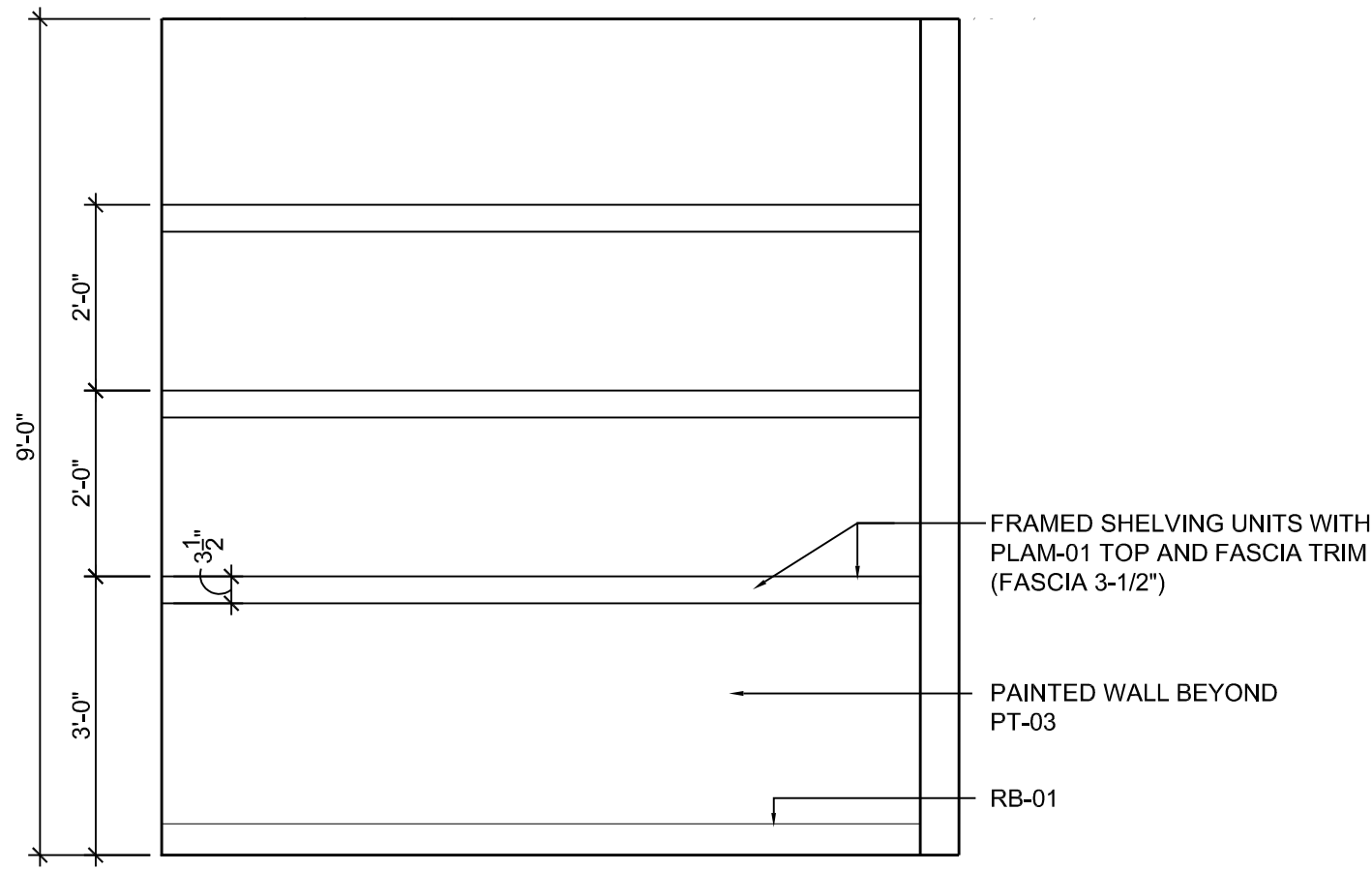
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NUMBER

2516

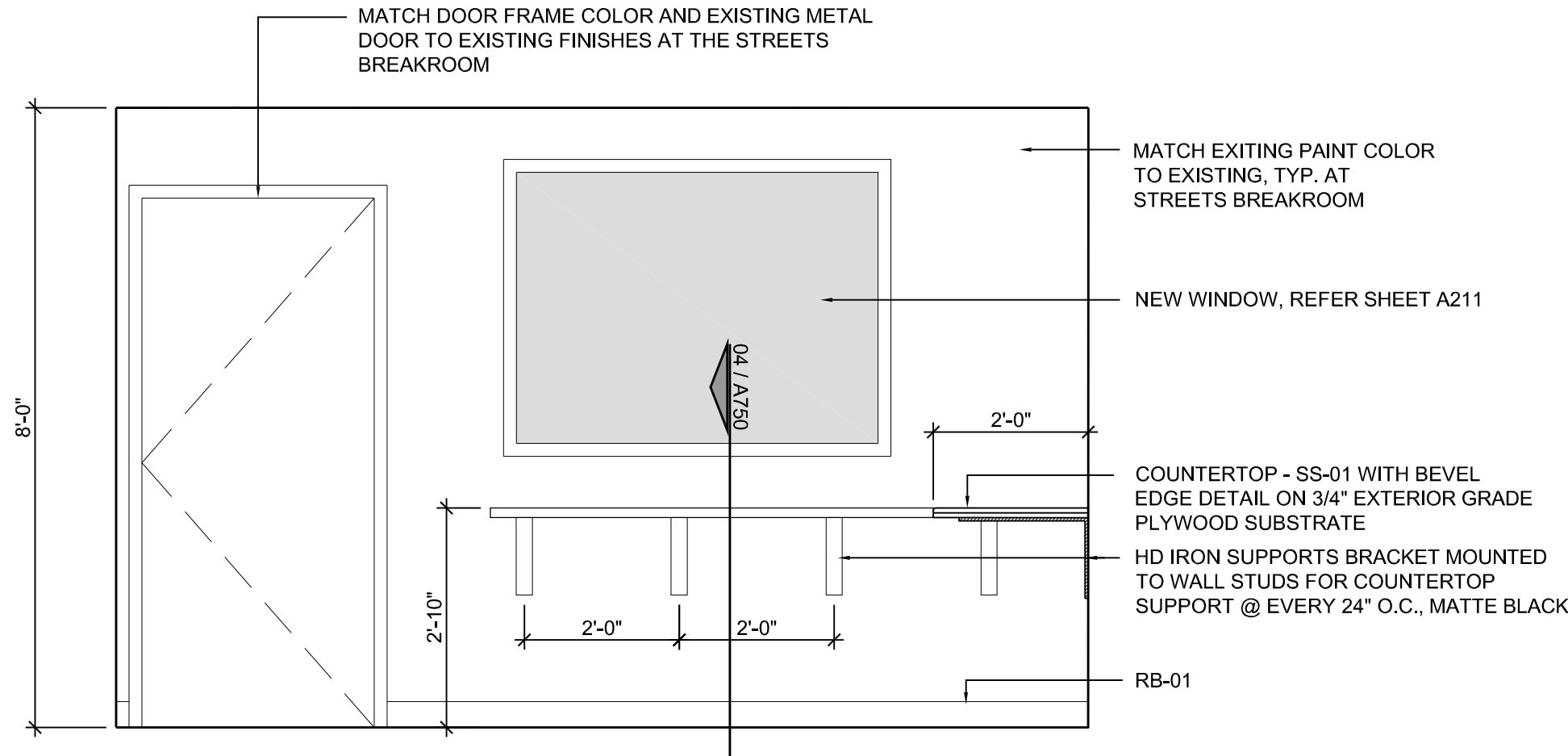
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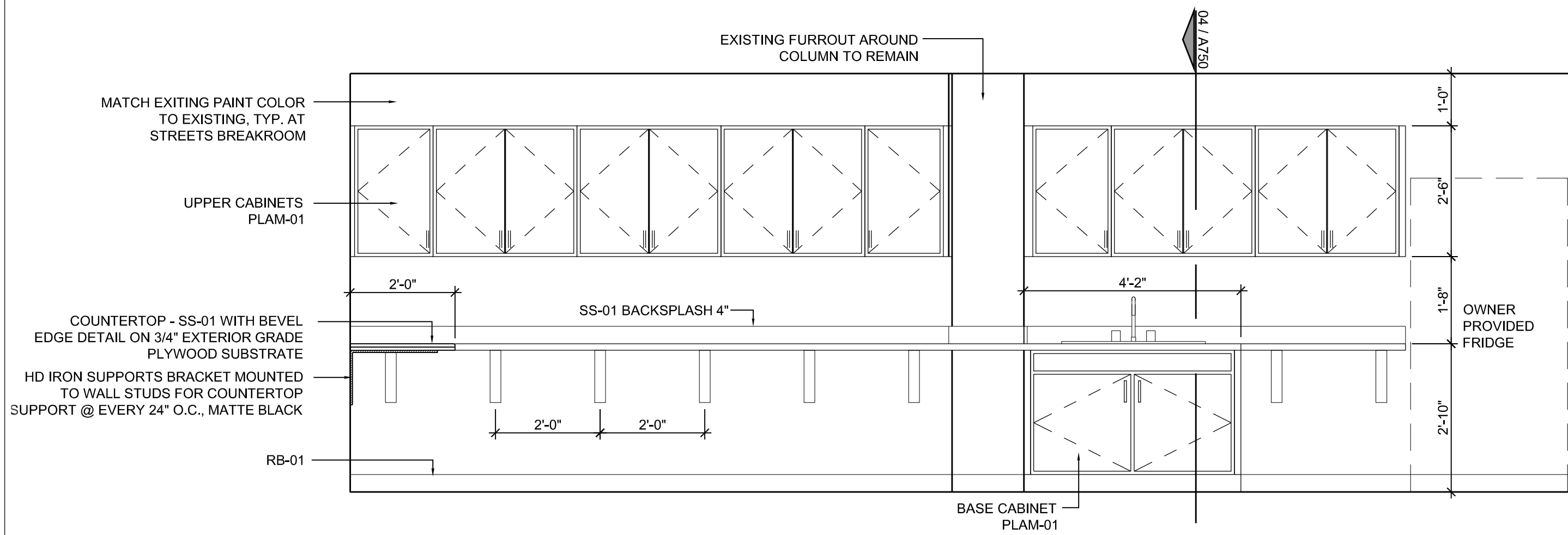
A:\2516 - City of Moore - Sign Shop & Streets Breakroom\04\_CD\01\_Drawing\04\_CAD\2516\_A750.dwg



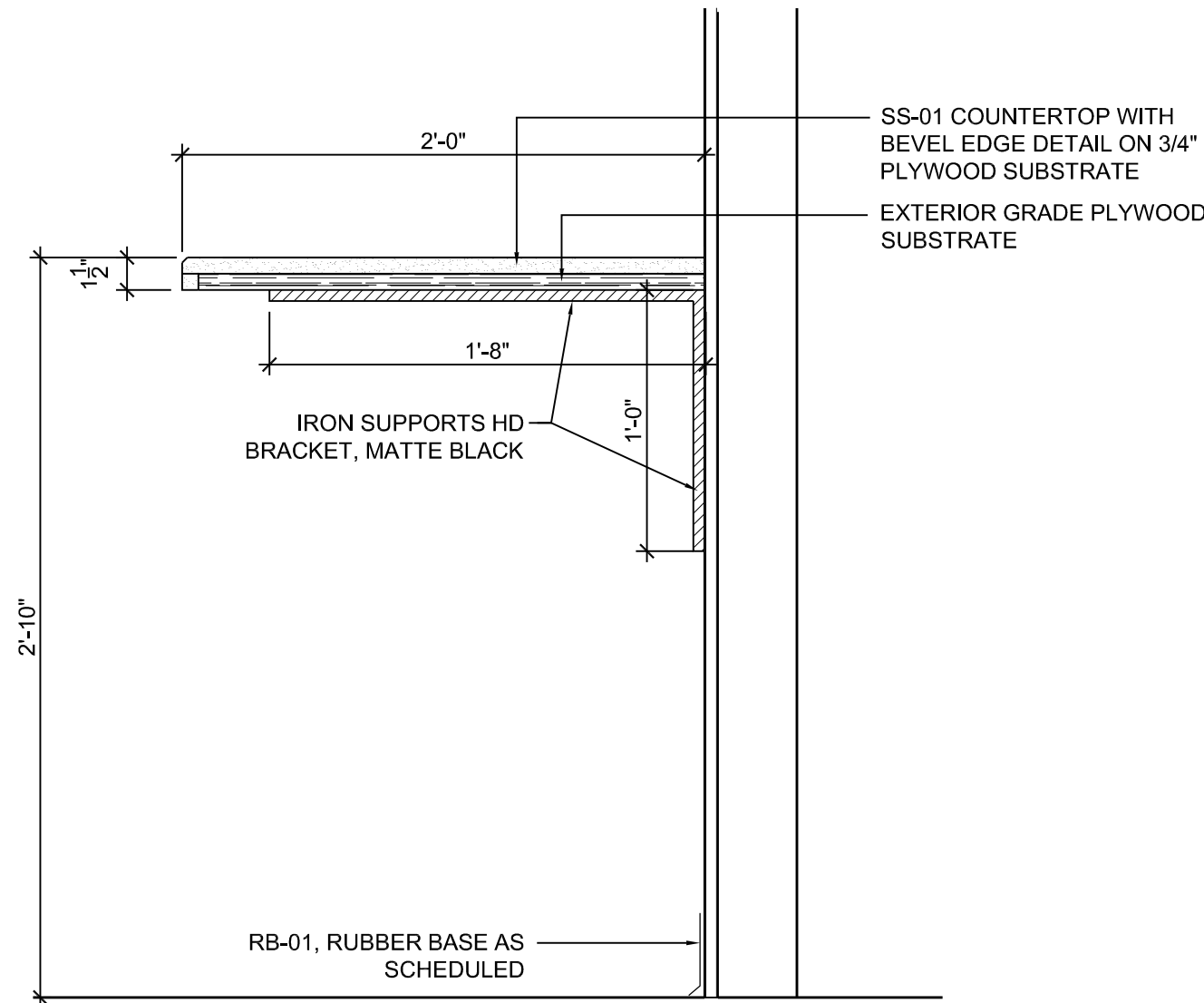
01 SIGN SHOP  
SHELVING ELEVATION  
SCALE: 1/2" = 1'-0"



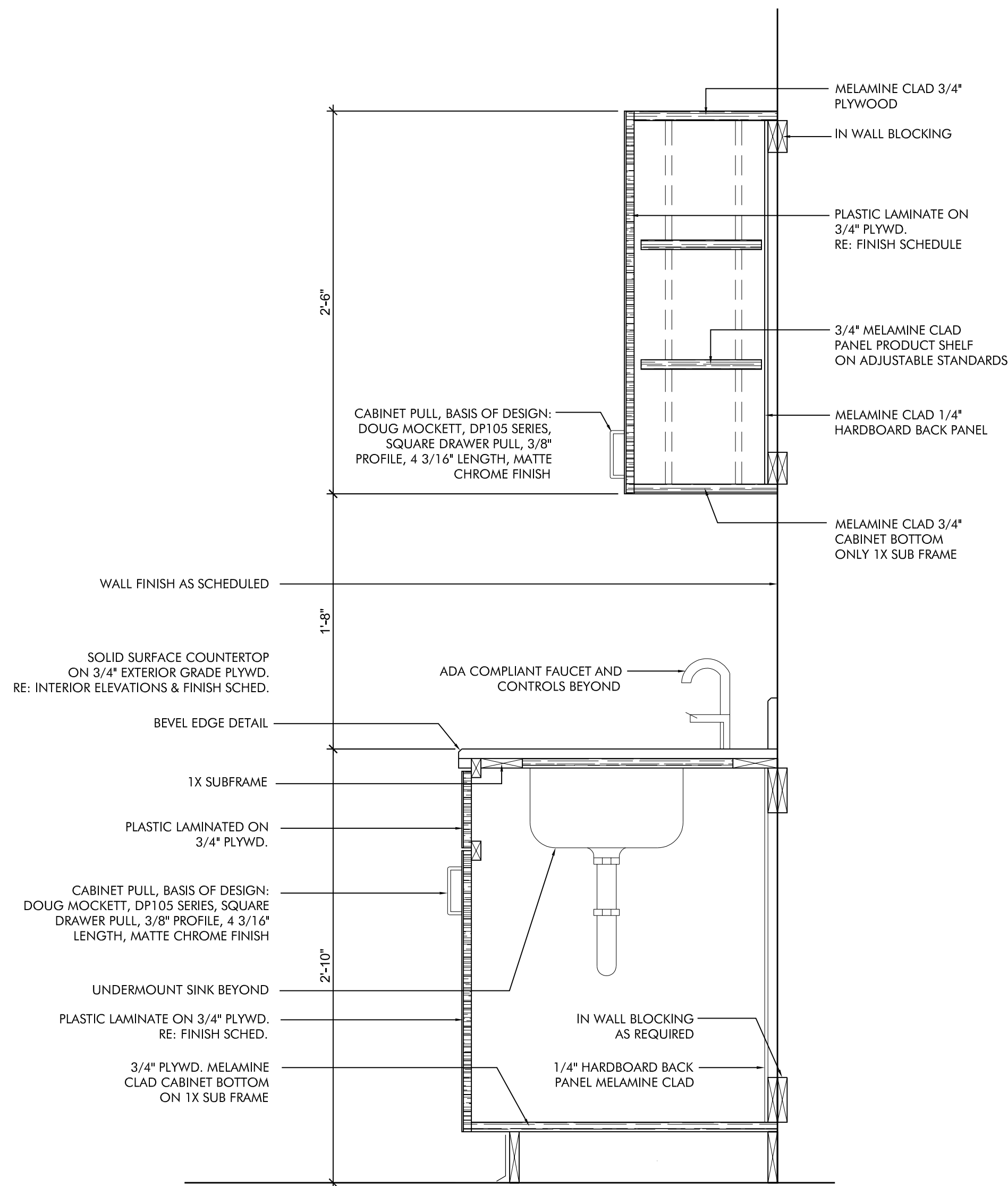
02 STREETS BREAKROOM  
COUNTERTOP ELEVATION  
SCALE: 1/2" = 1'-0"



03 STREETS BREAKROOM  
COUNTERTOP ELEVATION  
SCALE: 1/2" = 1'-0"



04 STREETS BREAKROOM  
COUNTERTOP SECTION  
SCALE: 1 1/2" = 1'-0"



05 STREETS BREAKROOM  
MILLWORK SECTION  
SCALE: 1 1/2" = 1'-0"

415 Broadway

Oklahoma City

Oklahoma 73102



V.405.232.8787

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ARCHITECT'S  
SEAL



01/15/2026

PROJECT

CITY OF MOORE  
SIGN SHOP/BREAKROOM  
632 VERMEER DRIVE  
MOORE, OKLAHOMA 73160



ISSUES  
REVISIONS

ISSUE FOR BIDDING  
01/15/2026

SHEET  
TITLE  
INTERIOR  
ELEVATIONS &  
DETAILS

SHEET  
NUMBER

A750

PROJECT  
NUMBER

2516

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